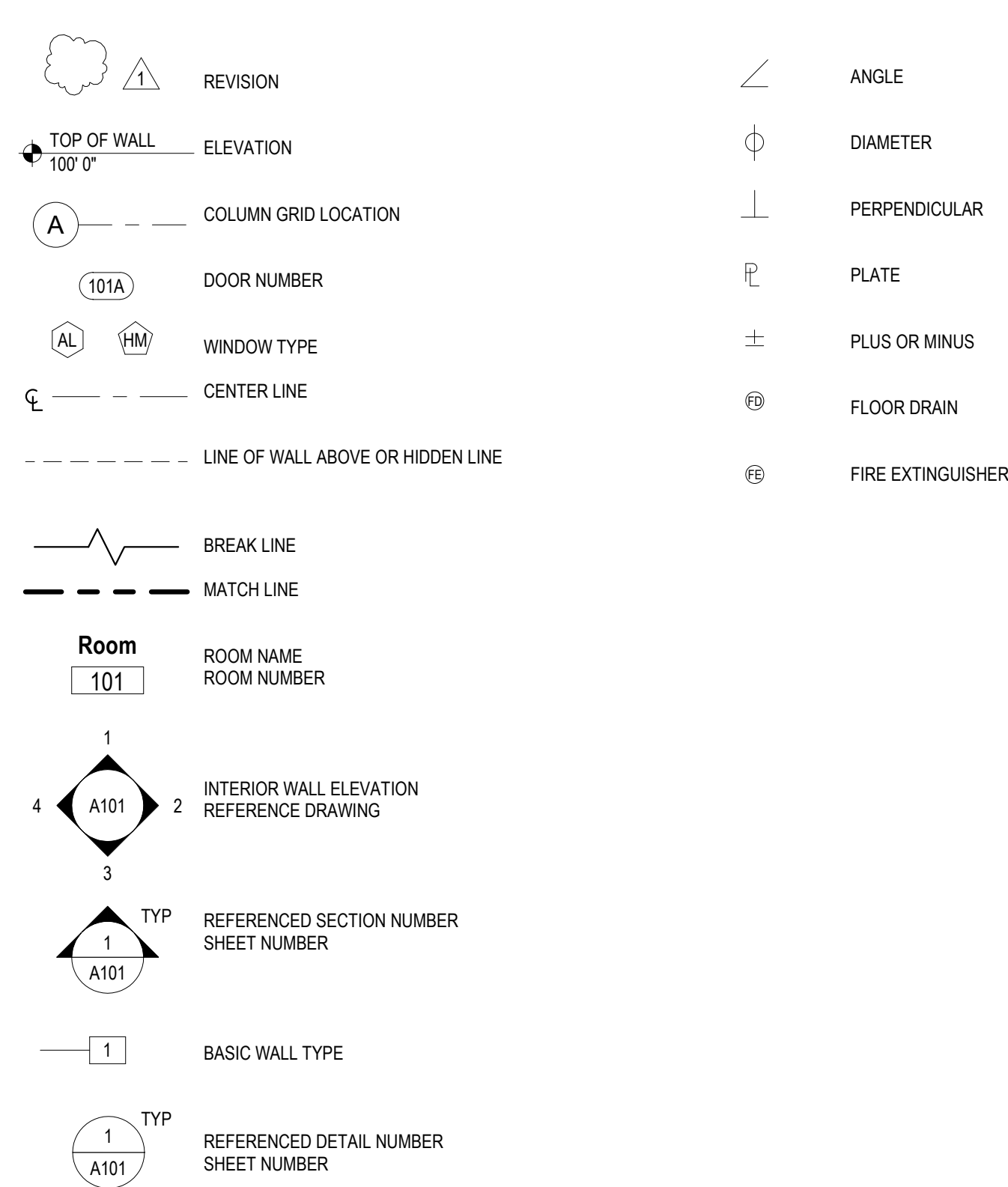


ARCHITECTURAL ABBREVIATIONS

ABV ACC AFF ALT AL APC ARCH ASPH A/C	above accessories above finished floor alternate aluminum acoustical panel ceiling architect (ural) asphalt air conditioning	EIFS EJ EL ELEC EM EWIC EWG EQ EXG EXH EXP EXT	exterior insul finish sys expansion joint elevation electric (al) emergency electric water cooler end wall corner guard equal existing exhaust exposed exterior	INCL INSUL INT INV	include (d) (ing) insulate (d) (ing) interior invert	OPG OPH OPP OSB OTS	opening opposite hand opposite oriented strand board open to structure	SHT SHTG SIM SND SNV SPEC SPKR SQ SS SST STD STL STOR STR SUSP	sheet sheathing similar sanitary napkin disposal sanitary napkin vendor specification speaker square solid surface stainless steel standard steel storage structural suspended
BCS BD BLDG BLKG BO BRG	baby changing station board building blocking bottom of bearing	FBO FD FDN FE FEC FEP FFE FIN FLG FLR FLUR FO FRMG FRP FT FTG	furnished by owner floor drain foundation fire extinguisher fire extinguisher cabinet finished end panel finished floor elevation finish flashing floor (ing) fluorescent face of framing fiber reinforced plastic foot (feet) footing	L LAM LAV LB LF LG LIN LT	length, angle laminated (d) lavatory pound lineal foot laminated glass, glazing linoleum light	PB PERF PERIM PLAM PLT PNL PNT PR PROJ PSF PSI PT PTD PTN PVC PVMT PWD	particle board perforate (d) perimeter plastic laminate plate panel paint (ed) pair projector, projection pounds per square foot pounds per square inch pressure treated paper towel dispenser partition polyvinyl chloride pavement plywood	T TB TD TEL T.O. TOC TOS TOW TPD TS TYP T&G	tread towel bar travel distance telephone top of top of concrete top of steel top of wall toilet paper dispenser tube steel typical tongue and groove
CBU CG CJ CLG CLR CMU COL CONC CONT CORR CPET CPT CSMT CT CTR CWOG	cementitious backer unit corner guard control joint ceiling clear (ance) concrete masonry unit column concrete continuous or continue corridor common path of egress travel carpet (ed) casement ceramic tile center center wall on grid	GAL GALV GB GC GL GWB GYP	gauge, gauge gallon galvanized grab bar general contractor glass, glazing gypsum wallboard gypsum	MA MAS MATL MAX MB MECH MFR MH MIN MISC MLD MO MT MTL	match masonry material maximum marker board mechanic (al) manufacture (r) (d) manhole minimum miscellaneous molding, moulding masonry opening mount (ed) (ing) metal	QT R RB REC RCMD RE REF REIN REQ REV RD RFG RH RM RO ROW RR RTU RUB	quarry tile riser, radius rubber base recycling recommend (ed) (ations) reference refrigerator reinforce (d) (ing) required revision (s), revised roof drain roofing robe hook room rough opening right of way restroom roof top unit rubber	UNO VB VCT VERT VIF VM VNL VTR	unless noted otherwise vapor barrier vinyl composition tile vertical verify in field vending machine vinyl sheet vent through roof
DBL DEMO DF DIM DIR DISP DN DR DS DTL DWG DWR	double demolish / demolition drinking fountain dimension (s) direction dispenser down door downspout detail drawing drawer	HAS HB HCP HCR HDW HM HOR HSS HT HVAC HWD	headed anchor stud hose bibb handicap (ed) header hardware hollow metal horizontal hollow structural sections height heating / ventilation / air conditioning hardwood	N N/A NIC NOM NTS NECY	north not applicable not in contract nominal not to scale necessary	S SAG SC SCH SD	south susp acoustic grid shower curtain rod & hooks schedule soap dispenser	W WI WB WC WD WDW WF WG W/O WP WR WRB WWM	west, wide, width with wood base watercloset wood window wide flange wire glass without waterproof (ing) waste receptacle weather resistive barrier welded wire mesh
E EA EC EG	east each evaporative cooler etched glass/glazing			OC OD OFCI OFD OFOI OH OL OLF	on center (s) outside diameter owner furnished, contractor installed overflow drain owner furnished, owner installed overhead occupant load occupant load factor				

SYMBOLS



GENERAL NOTES

1. COMPLY WITH ALL MANUFACTURERS RECOMMENDATIONS AND INDUSTRY STANDARDS RELEVANT TO THE WORK HEREIN.
2. ALL DIMENSIONS ARE FROM FACE OF FINISH UNO.
3. ALL ALIGNMENTS ARE FACE OF FINISH UNO.
4. FIELD VERIFY ALL DIMENSIONS AND ROUGH OPENINGS PRIOR TO FABRICATION AND/OR INSTALLATION.



437 Main Street
Grand Junction, CO 81501
970.242.6804

chamberlinarchitects.com

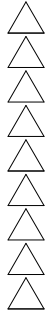


FRUITA CIVIC CENTER - OFFICE REMODEL

FRUITA, COLORADO

NOTES, SYMBOLS, ABBREVIATIONS AND WALL TYPES

NO: ISSUED FOR: DATE:
ADD-02 12/01/22



- NOTES:
1. WALL TYPE CHANGES OCCUR AT CORNERS OR INTERSECTIONS OF WALLS UNLESS NOTED OTHERWISE.

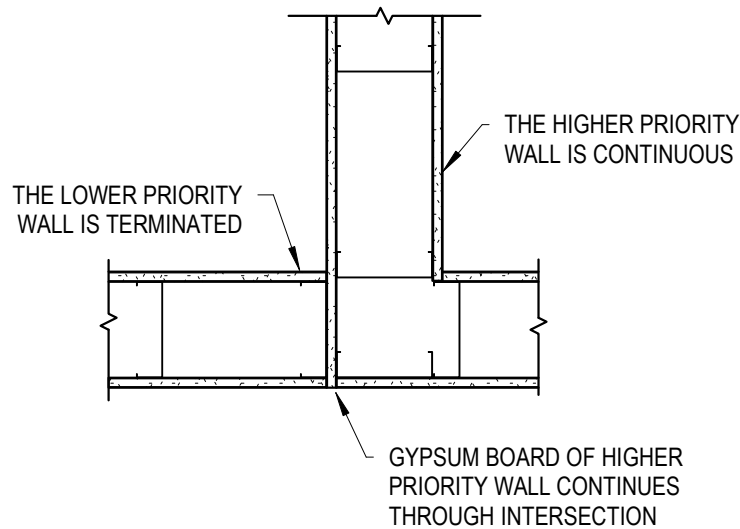
PROJECT STATUS:
CONSTRUCTION DOCUMENTS

DATE:
11/7/2022 SHEET NO:

PROJECT NO:
2146.02

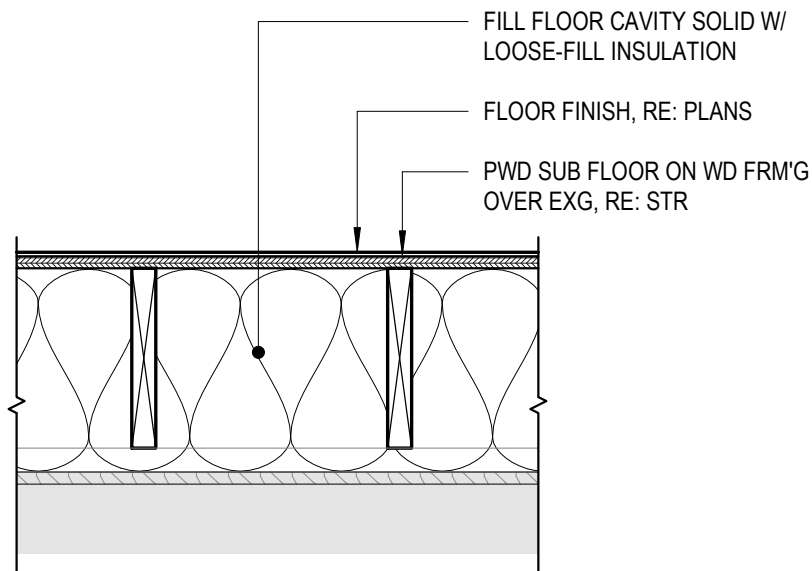
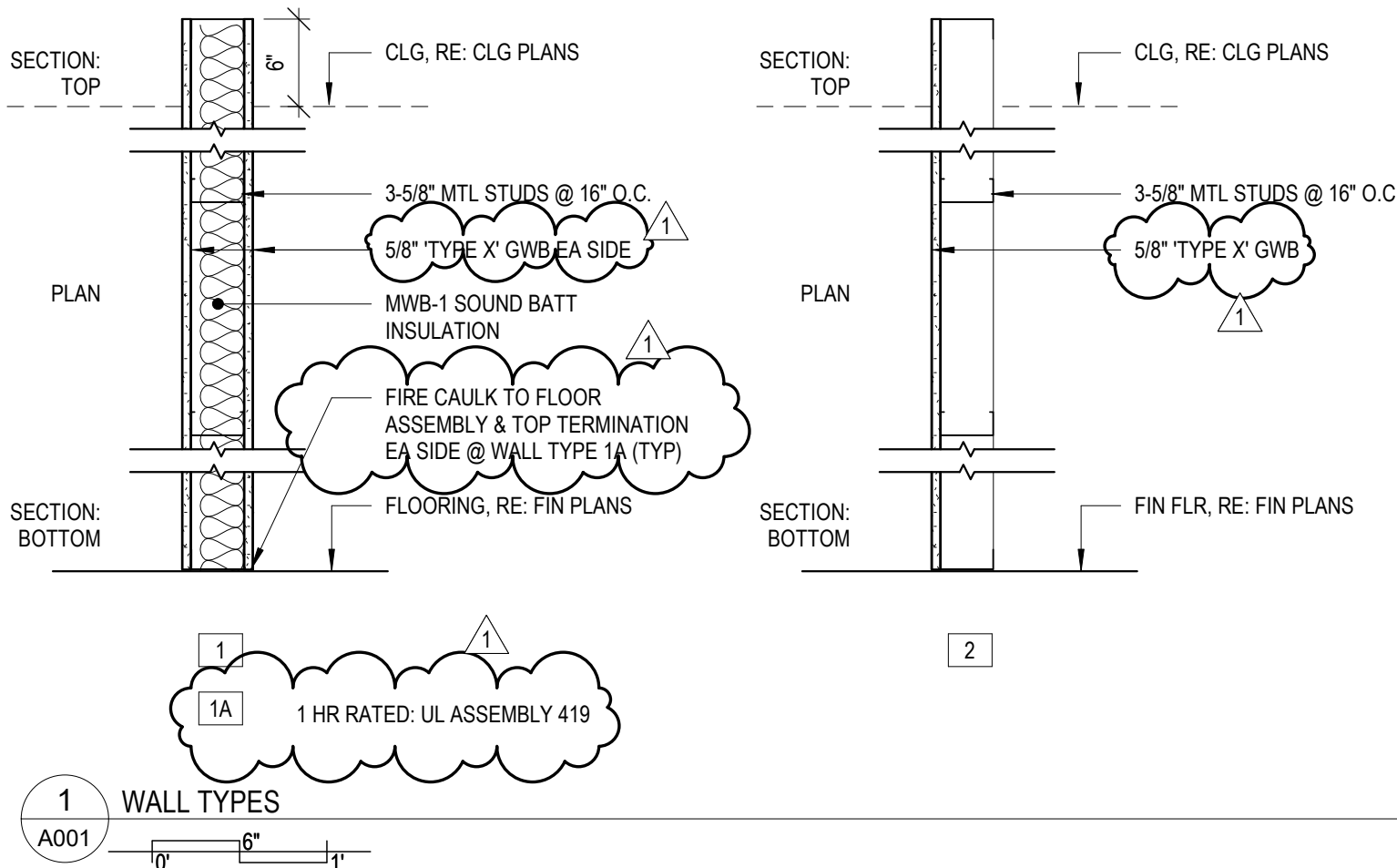
A001

PARTITION PRIORITY

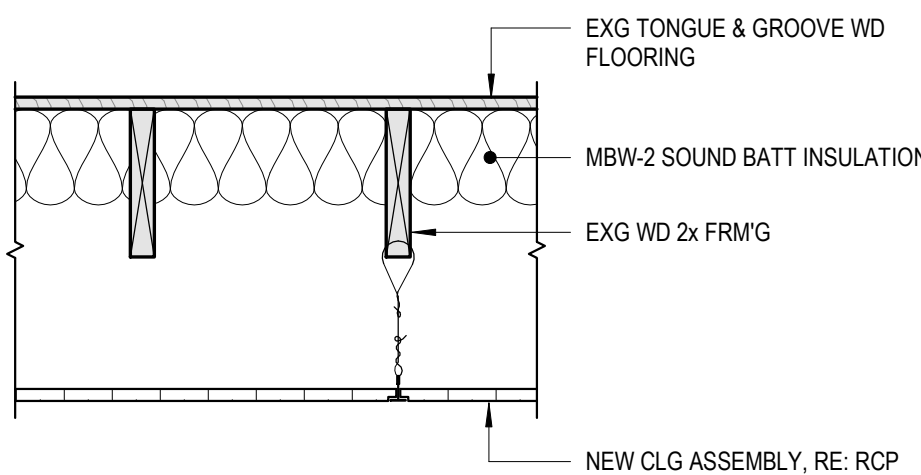


PARTITION TYPE	PRIORITY
3 HOUR FIRE	1 - HIGHEST
2 HOUR SHAFT	2
2 HOUR FIRE	3
1 HOUR SHAFT	4
1 HOUR	5
SMOKE	6
SOUND	7
NO FIRE OR SOUND RATING	8 - LOWEST

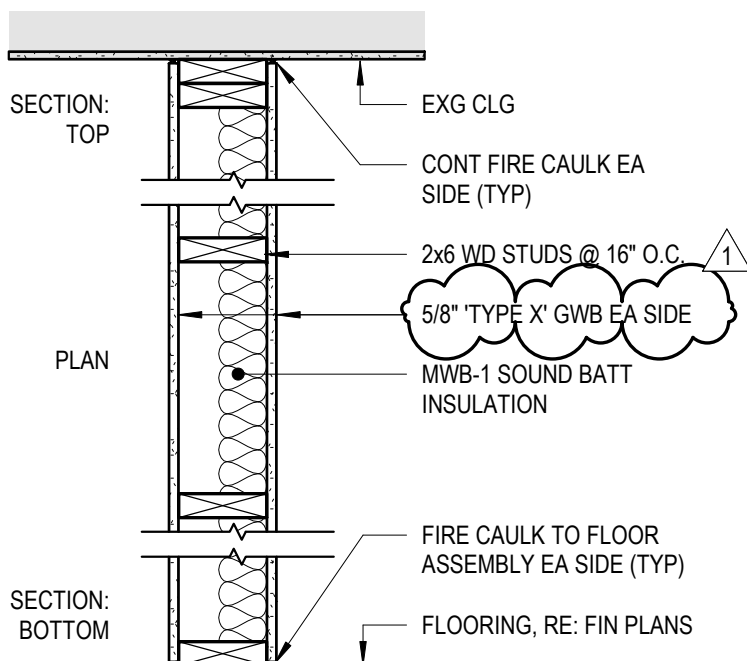
PARTITION PRIORITY



8 FLOOR ASSEMBLY
A001



7 CEILING ASSEMBLY
A001

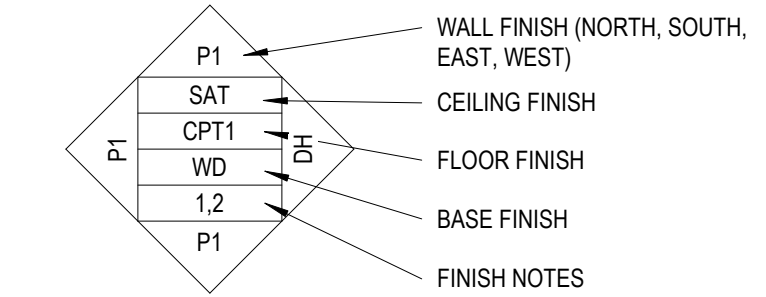


1 HR RATED: UL ASSEMBLY 304

GENERAL DEMOLITION NOTES

1. SEE PROJECT MANUAL SPECIFICATIONS AND REQUIREMENTS FOR DEMOLITION.
2. THE DOCUMENTS SHOW THE OVERALL EXTENT OF DEMOLITION REQUIRED. ALTHOUGH EACH COMPONENT MAY NOT BE SHOWN OR REFERENCED, REMOVE ITEMS CONSISTENT WITH THE NATURE OF DEMOLITION INDICATED.
3. ALL CONDITIONS ARE EXISTING; IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE PROJECT CONDITIONS, RECORD AND REPORT ALL DEVIATIONS TO THE ARCHITECT AS SOON AS POSSIBLE.
4. DO NOT DEMOLISH STRUCTURAL ELEMENTS WITHOUT APPROVAL FROM STRUCTURAL ENGINEER. PROVIDE TEMPORARY SHORING AND BRACING AS NEEDED TO MAINTAIN STRUCTURAL INTEGRITY REMOVE LOOSE OR CRACKED MATERIAL AT AREAS ADJACENT TO INDICATED DEMOLITION IF DAMAGED BY DEMOLITION OPERATIONS. PATCH AREAS WITH MATCHING MATERIAL AND WORKMANSHIP.
5. PERIMETER STRUCTURAL CONDITIONS ARE UNKNOWN. CONTRACTOR IS TO COORDINATE ALL PLUMBING EXIT POINTS WITH STRUCTURAL ENGINEER PRIOR TO PENETRATING GRADE BEAMS.
6. AT WALLS, FLOORS AND CEILING AREAS INDICATED FOR DEMOLITION, REMOVE ALL INTEGRAL DEVICES AND EQUIPMENT PRESENT UNLESS OTHERWISE INDICATED.
7. ITEMS NOT NOTED FOR DEMOLITION ARE TO BE PROTECTED FROM DAMAGE AND PREPARED TO RECEIVE NEW WORK. SURFACES TO REMAIN THAT ARE DAMAGED DURING THE PERFORMANCE OF REQUIRED DEMOLITION SHALL BE PATCHED AND/OR PAINTED TO MATCH EXISTING TO REMAIN ADJACENT SURFACES UNLESS NOTED OTHERWISE.
8. RECYCLE MERCHANTABLE MATERIALS TO THE GREATEST EXTEND POSSIBLE, I.E. STEEL.
9. RESTORE THE FIRE PROTECTION RATING OF FIRE-PROTECTED CONSTRUCTION INDICATED TO REMAIN IF DAMAGED BY DEMOLITION OPERATIONS. FIRE-PROTECTED CONSTRUCTION INCLUDES STRUCTURAL MEMBERS, WALL, FLOOR, CEILING AND ROOF ASSEMBLIES COVERED WITH SPRAY FIREPROOFING OR DESIGNATED AS A RATED COMPONENT OR ASSEMBLY WITHIN THE DOCUMENTS.

INTERIOR FINISH LEGEND



NOTE:

PATTERN AT CEILINGS, RE: REFLECTED CEILING PLAN A121 FLOORING TRANSITION FROM EXISTING CPT TO NEW CARPET, RE: 9 / A401

WALL FINISHES

P# - CMU OR GYPSUM WALLBOARD W/ PAINT

ALUM/GL - ALUMINUM AND GLASS STOREFRONT

CEILING FINISH

APC - SUSPENDED ACOUSTICAL PANEL CEILING GRID AND TILE

P# - GYPSUM WALLBOARD WITH PAINT.

EXG - EXISTING CEILING TO REMAIN, PAINT IF INDICATED

FLOOR FINISHES

CPT - CARPET

BASE FINISHES

RUB - RUBBER BASE.

FINISH NOTES

1. INSTALL CARPET TILE WITH HERRINGBONE PATTERN
2. INSTALL CARPET TILE WITH BRICK ASHLAR PATTERN

INTERIOR COLOR SCHEDULE			
NUMBER	TITLE	ITEM	COLOR
05 5000	METAL FABRICATIONS	METAL AT WALL OPENING	P4
08 1113	HOLLOW METAL DOORS AND FRAMES	DOOR FRAMES	P4
08 1216	ALUMINUM FRAMES		POWDER COAT COLOR, TO BE SELECTED
08 1416	FLUSH WOOD DOORS		MATCH ARCHITECTS SAMPLE
09 5113	ACOUSTIC PANEL CEILING	APC	WHITE GRID AND TILE
09 6513	RESILIENT BASE AND ACCESSORIES	RUB	BURKE 112 SANDY TAN
09 6813	TILE CARPETING	CPT	MOHAWK, METALMORPHIC, COLOR DOWNING STONE METALLIC
09 9123	INTERIOR PAINTING	P1 - WALLS	SHERWIN WILLIAMS SW 7042 SHOJI WHITE
09 9123	INTERIOR PAINTING	P2 - CEILING AND SOFFITS	SHERWIN WILLIAMS SW 7551 GREEK VILLA
09 9123	INTERIOR PAINTING	P3 - ACCENT	BENJAMIN MOORE 482 MISTED FERN
09 9123	INTERIOR PAINTING	P4 - DOOR FRAMES	SHERWIN WILLIAMS SW 7030 ANEW GRAY
09 9123	INTERIOR PAINTING	P5 - MATCH EXISTING ADJACENT WALL	TO BE SELECTED, MATCH EXISTING ADJACENT WALL
09 9123	INTERIOR PAINTING	P6 - STEEL OPENING	BENJAMIN MOORE 1148 COGNAC SNIFTER
09 9123	INTERIOR PAINTING	P7 - MATCH EXISTING ADJACENT WALL	TO BE SELECTED, MATCH EXISTING ADJACENT WALL
12 2113	HORIZONTAL LOUVER BLINDS		TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS

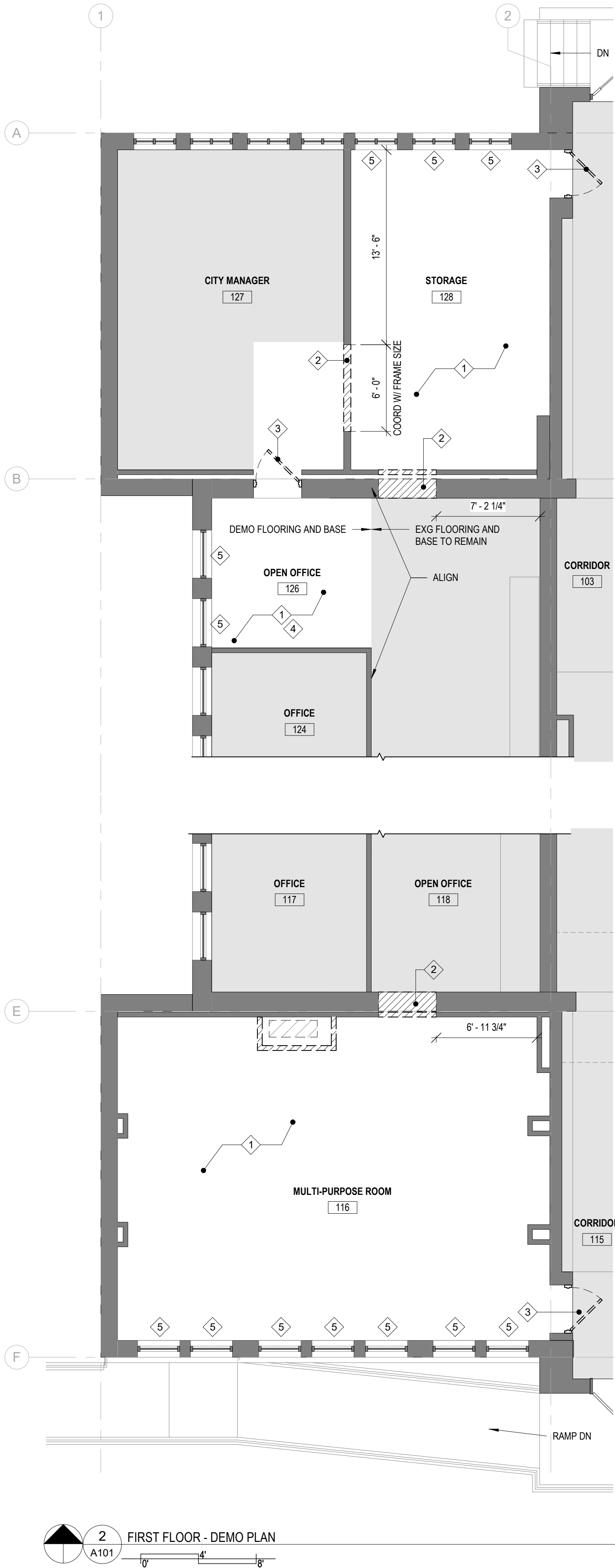
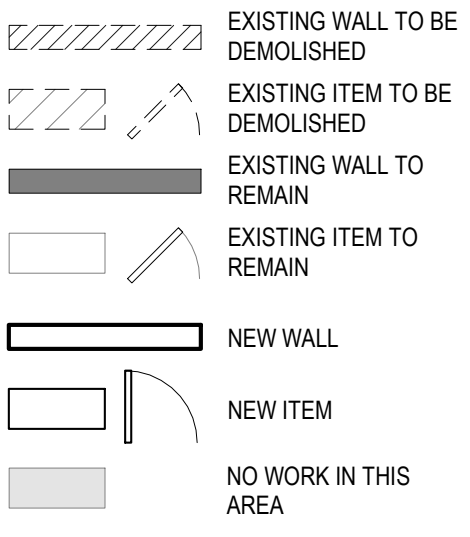
GENERAL NEW CONSTRUCTION NOTES

1. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
2. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
3. PROVIDE TREATED SOLID WOOD BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION. PROVIDE DOUBLE STUDS AT COUNTERTOP BRACKETS (TYP)
4. CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE VISIBLE.
5. WHERE EXISTING FINISHES ARE REQUIRED TO BE REMOVED TO INSTALL NEW FINISHES, PATCH AND REPAIR WALL SURFACES TO ACCEPT NEW FINISHES AND CONCEAL ALL TRANSITIONS.
6. MAINTAIN RATINGS OF EXISTING WALLS. PATCH AND REPAIR ANY NEW OR EXISTING OPENINGS IN RATED WALLS WITH UL ASSEMBLY APPROVED FOR PENETRATING ITEM AND WALL ASSEMBLY.
7. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
8. RECONFIGURE FIRE ALARM DEVICES AS PER THE ELECTRICAL CODE OR AS INDICATED. PROVIDE NEW FIRE ALARM DEVICES IF EXISTING ARE NOT OPERATIONAL.
9. FIELD VERIFY EXISTING CORRIDOR WALLS AND ROOM SEPARATION WALLS ARE 1HR RATED WITH REQUIRED PENETRATION FIRESTOPPING. WHERE THESE WALLS DO NOT CURRENTLY MEET THE REQUIRED RATING MODIFY WALL TO MEET UL ASSEMBLY WITH SOUND BATTS.
10. FINISHES SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.
11. MAIN STRUCTURE IS EXISTING AND THE CONFIGURATION OF THE SUPPORTING FOUNDATIONS ARE UNKNOWN. CONTRACTOR SHALL MAKE MODIFICATIONS AS NEEDED TO THE UNDERSLAB PLUMBING ROUTING TO MAINTAIN THE INTEGRITY OF THE STRUCTURE. ALL MODIFICATIONS THAT IMPACT THE LOCATION OF PLUMBING FIXTURES MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
12. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.
13. BACK OF DOOR JAMB LOCATION OFF FACE OF WALL IS 4", TYPICAL, UNLESS NOTED OTHERWISE.
14. FURNITURE PLAN FOR REFERENCE ONLY, RE: 3 / A402

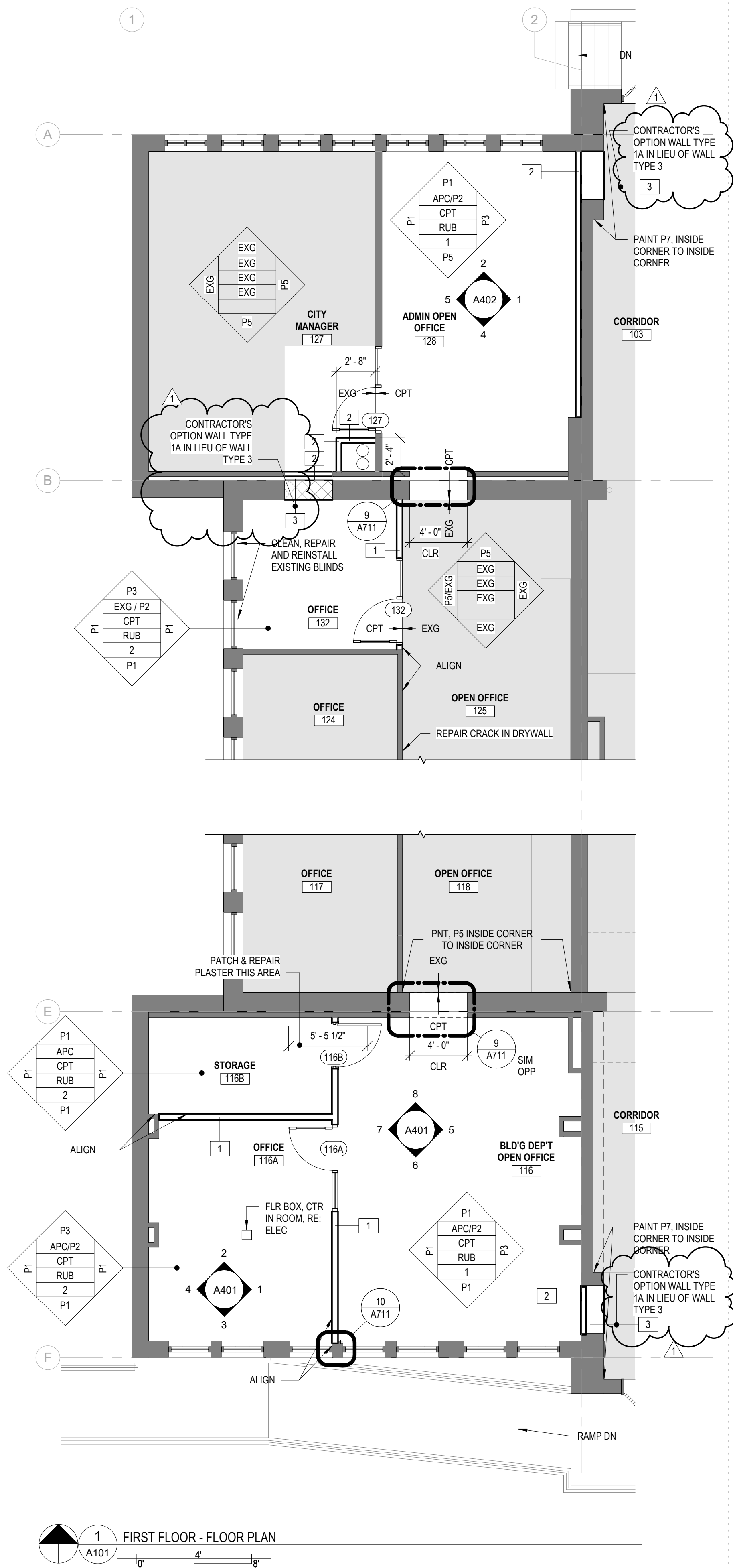
DEMO KEYNOTES

1. REMOVE FLOORING AND BASE.
2. REMOVE WALL TO PREPARE FOR NEW OPENING. NEW OPENING SHOULD BE 4'-0" CLR
3. REMOVE EXISING DOOR, HARDWARE AND FRAME. SALVAGE DOOR AND HARDWARE, RETURN TO OWNER. PREPARE WALL FOR INFILL
4. SALVAGE EXISITNG FULL SIZE CARPET TILE TO PATCH IN AS NEEDED BETWEEN NEW AND EXISTING AREAS.
5. REMOVE OR PROTECT IN PLACE EXISTING WINDOW BLINDS, CLEAN, REPAIR AND REINSTALL AS PART OF NEW CONSTRUCTION

LEGEND



2 A101 FIRST FLOOR - DEMO PLAN



1 A101 FIRST FLOOR - FLOOR PLAN



chamberlin

437 Main Street
Grand Junction, CO 81501
970.242.6804

chamberlinarchitects.com



FRUITA CIVIC CENTER - OFFICE REMODEL

FRUITA, COLORADO

DEMO & NEW FLOOR PLANS

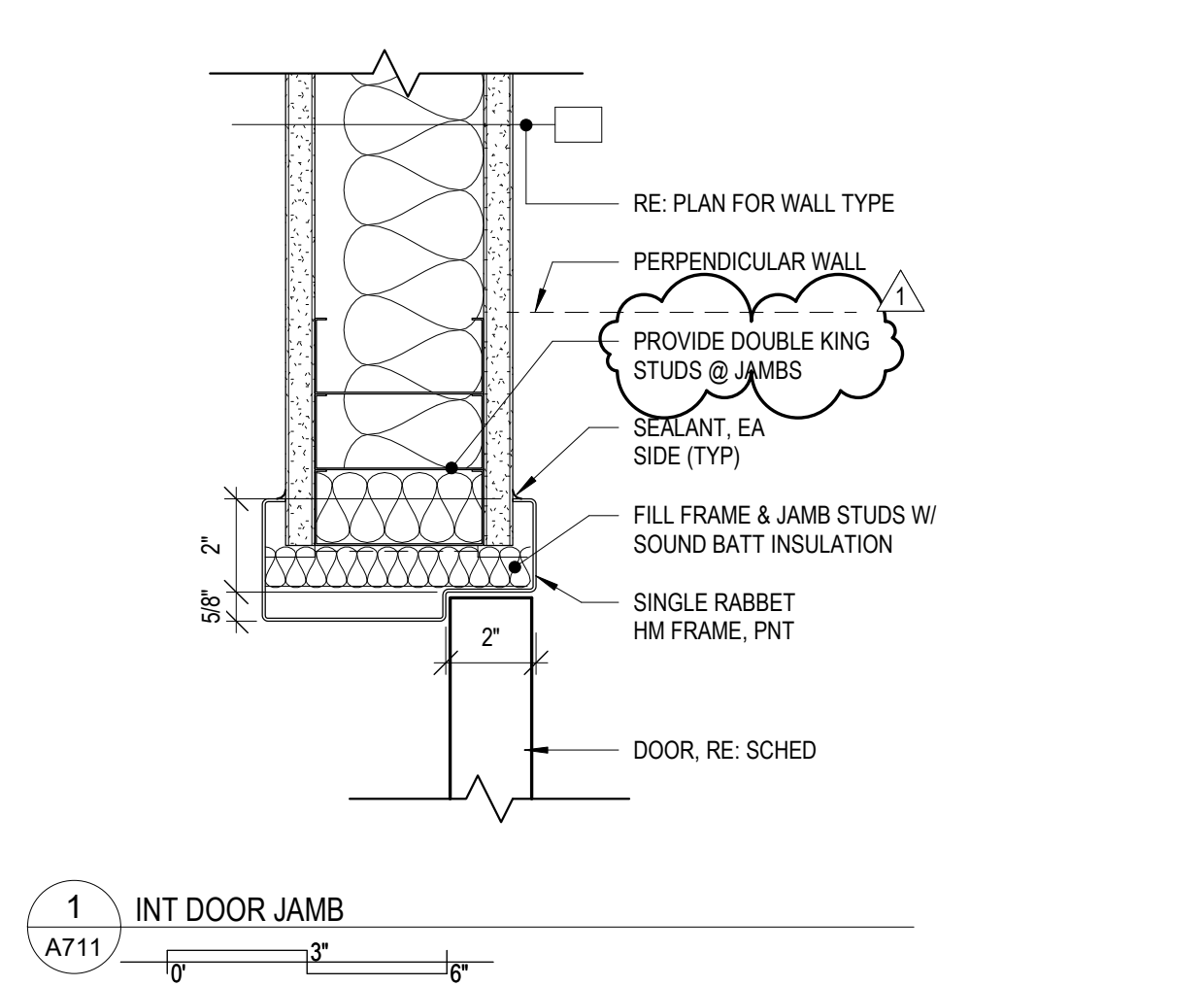
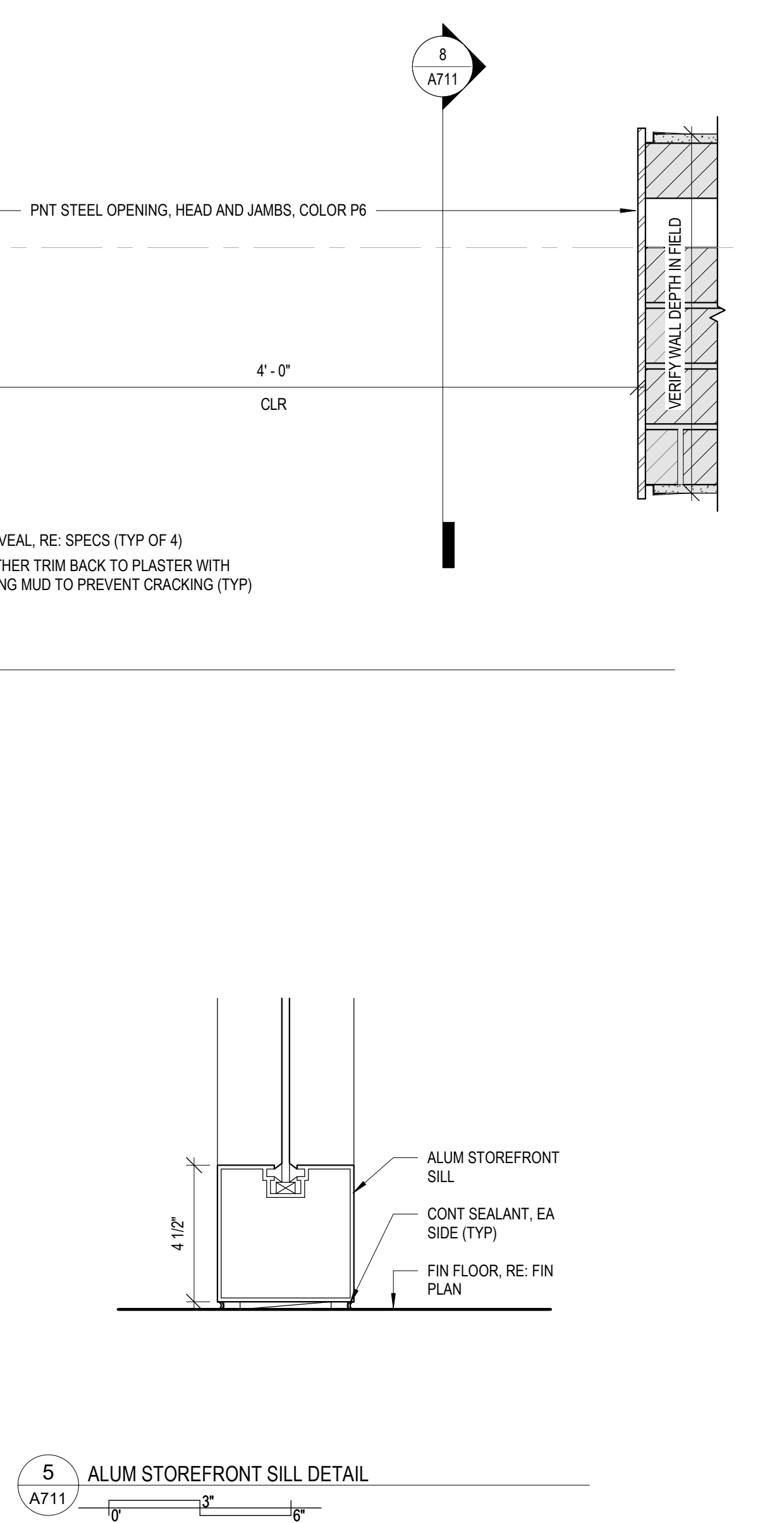
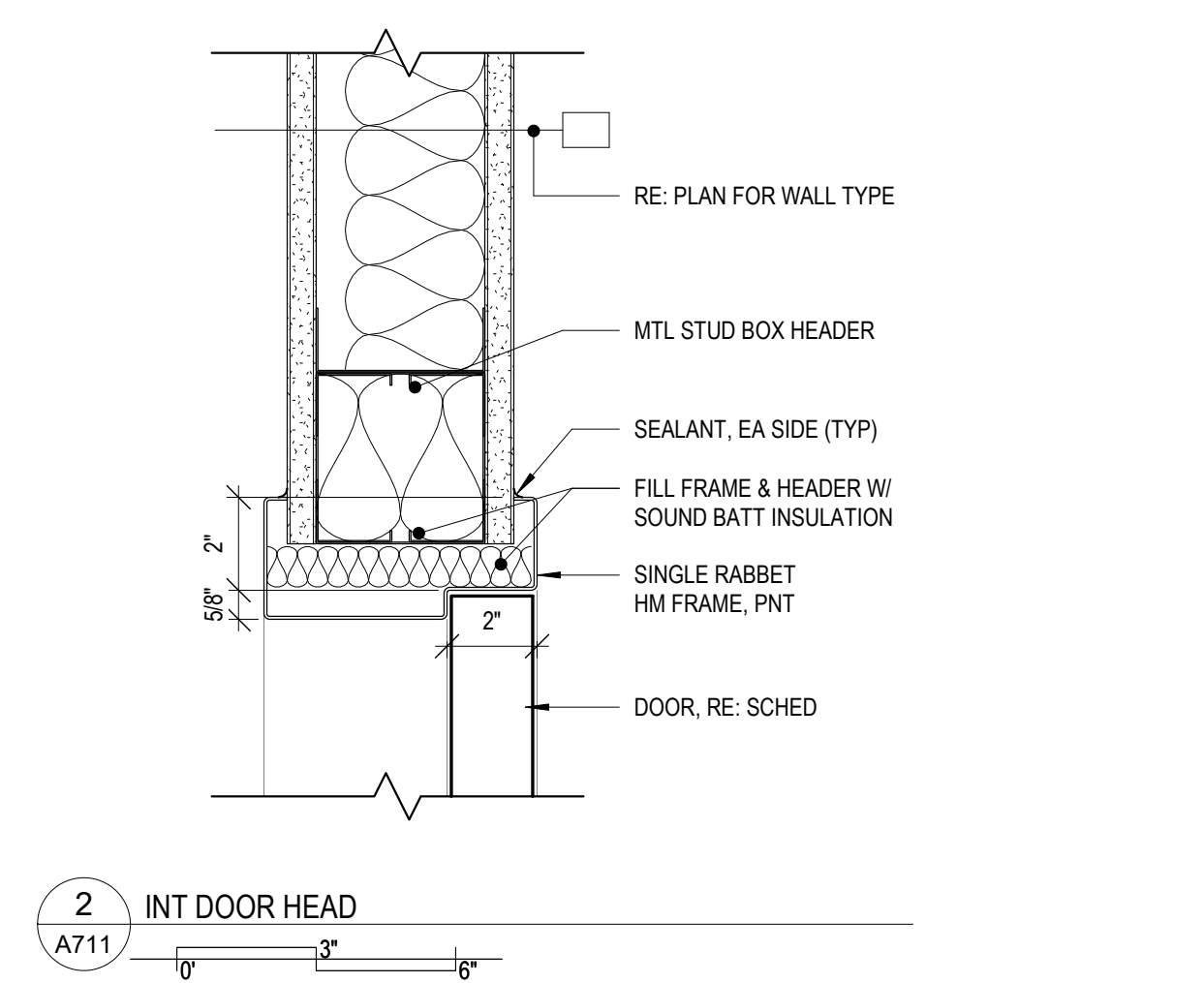
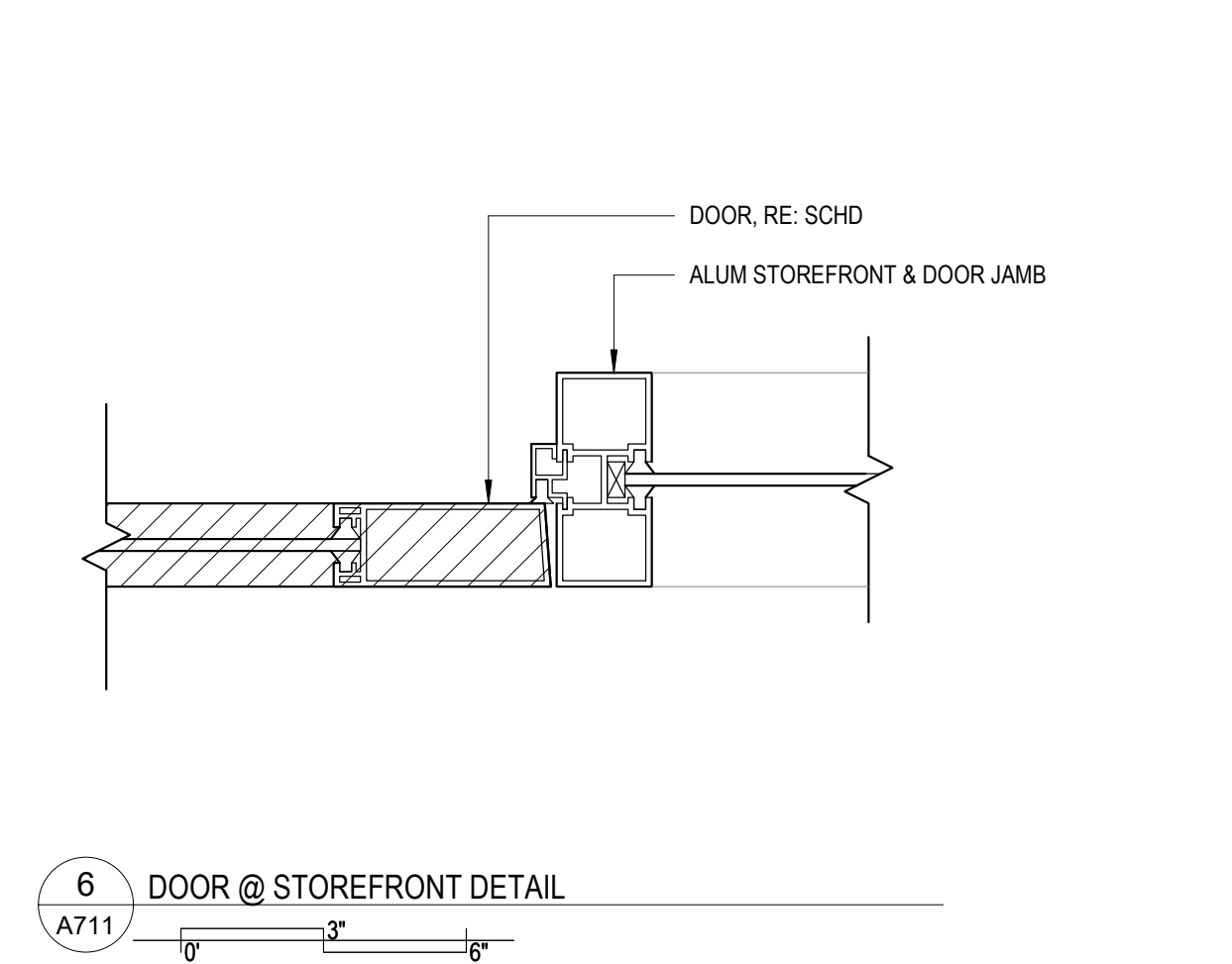
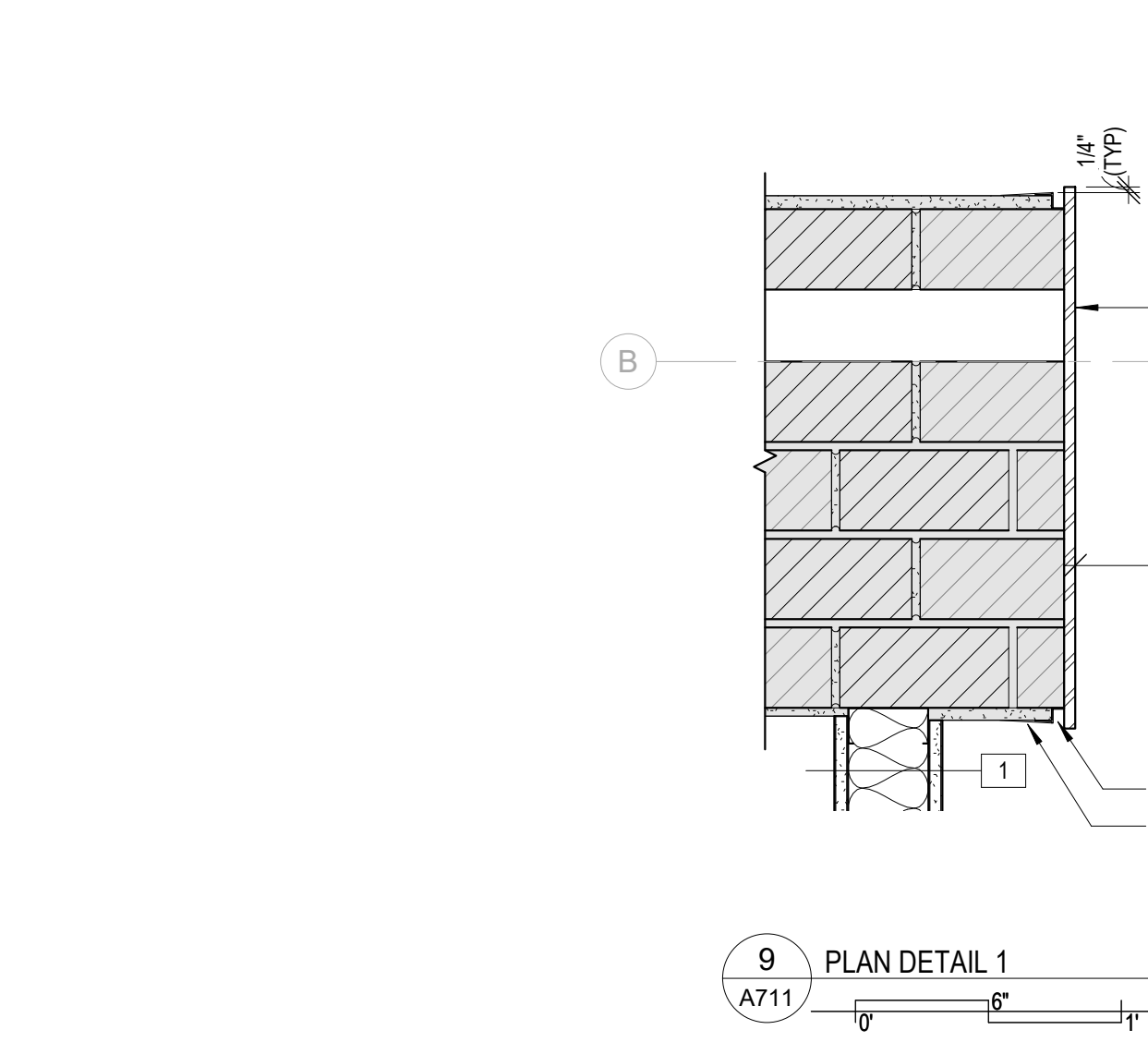
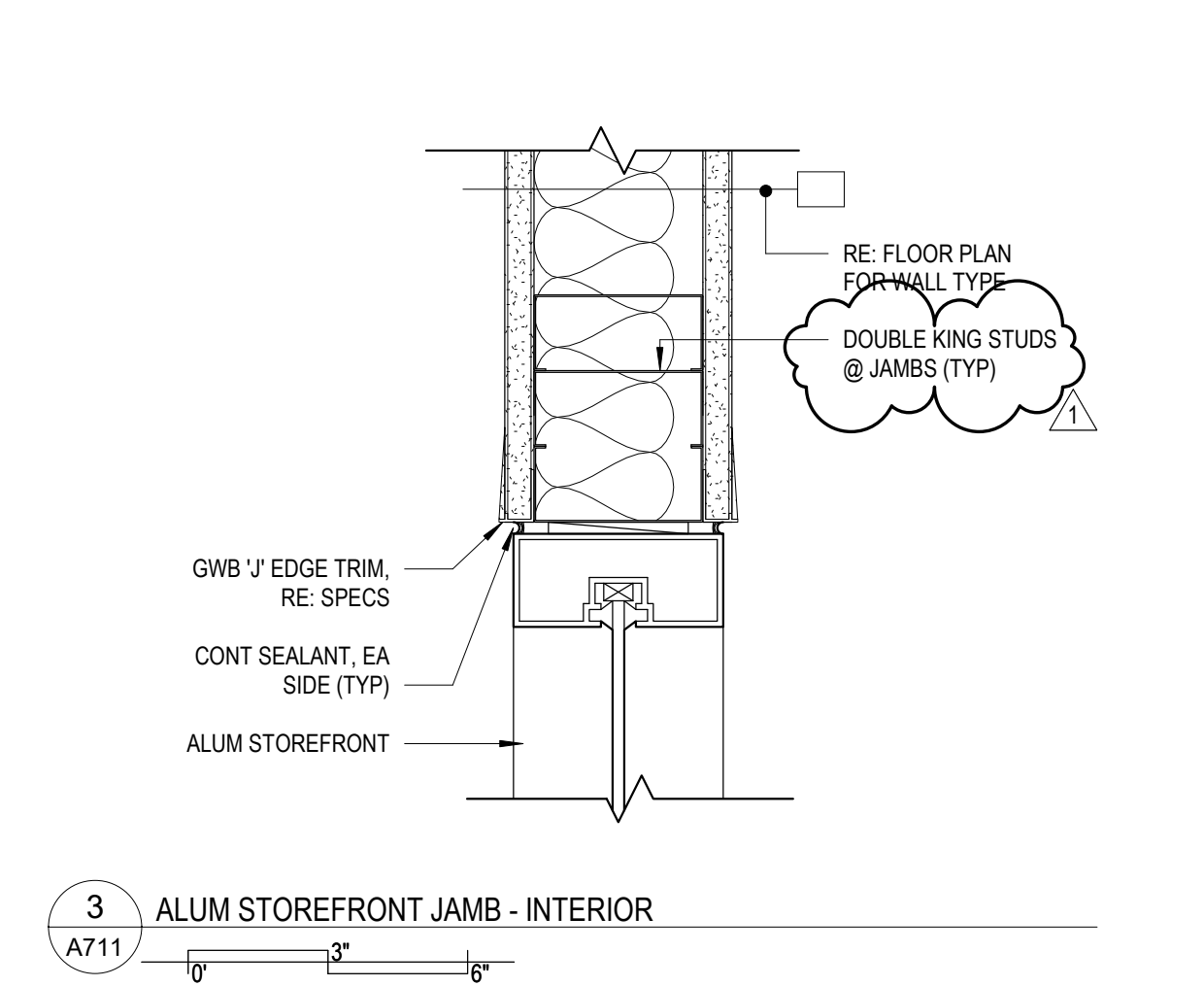
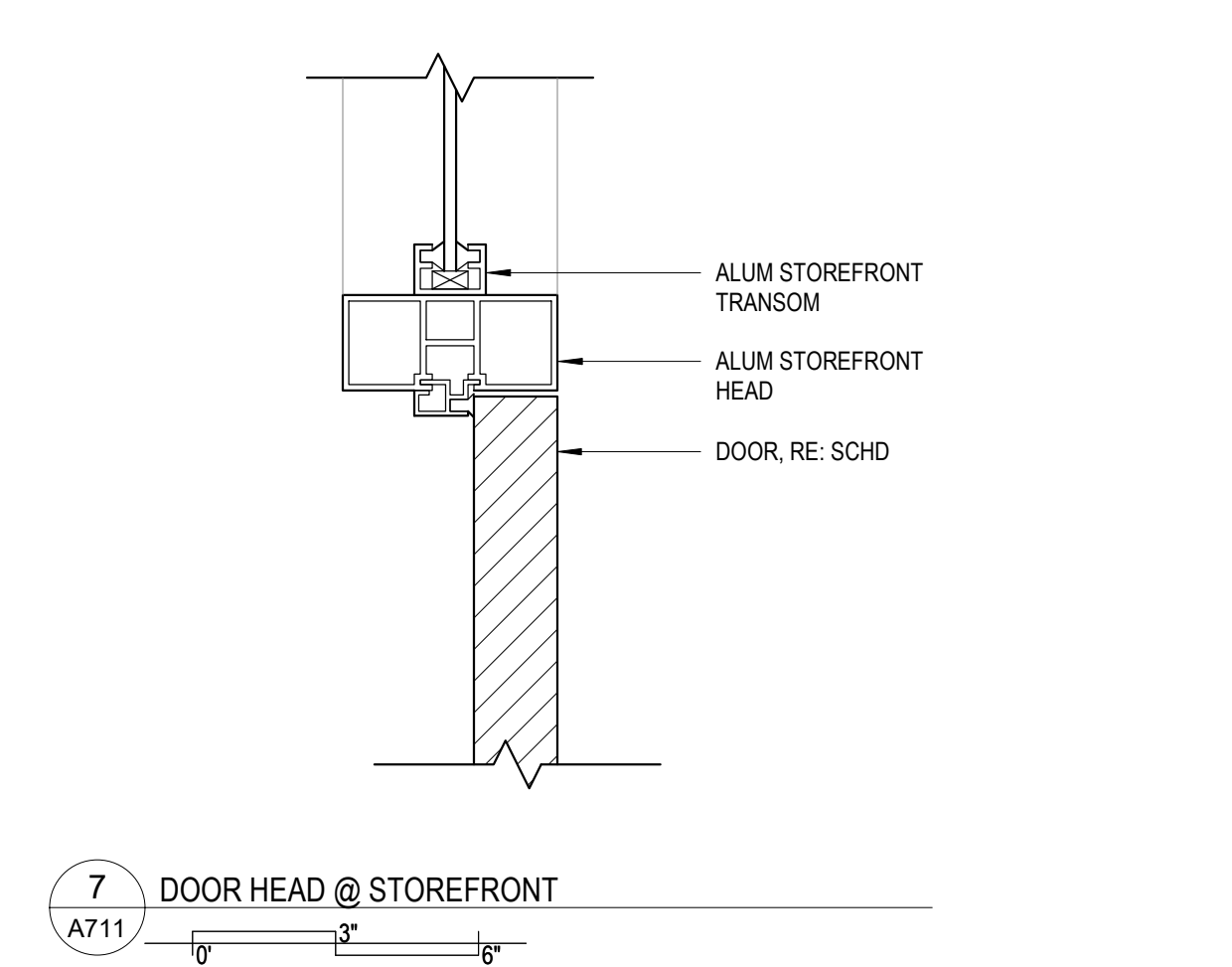
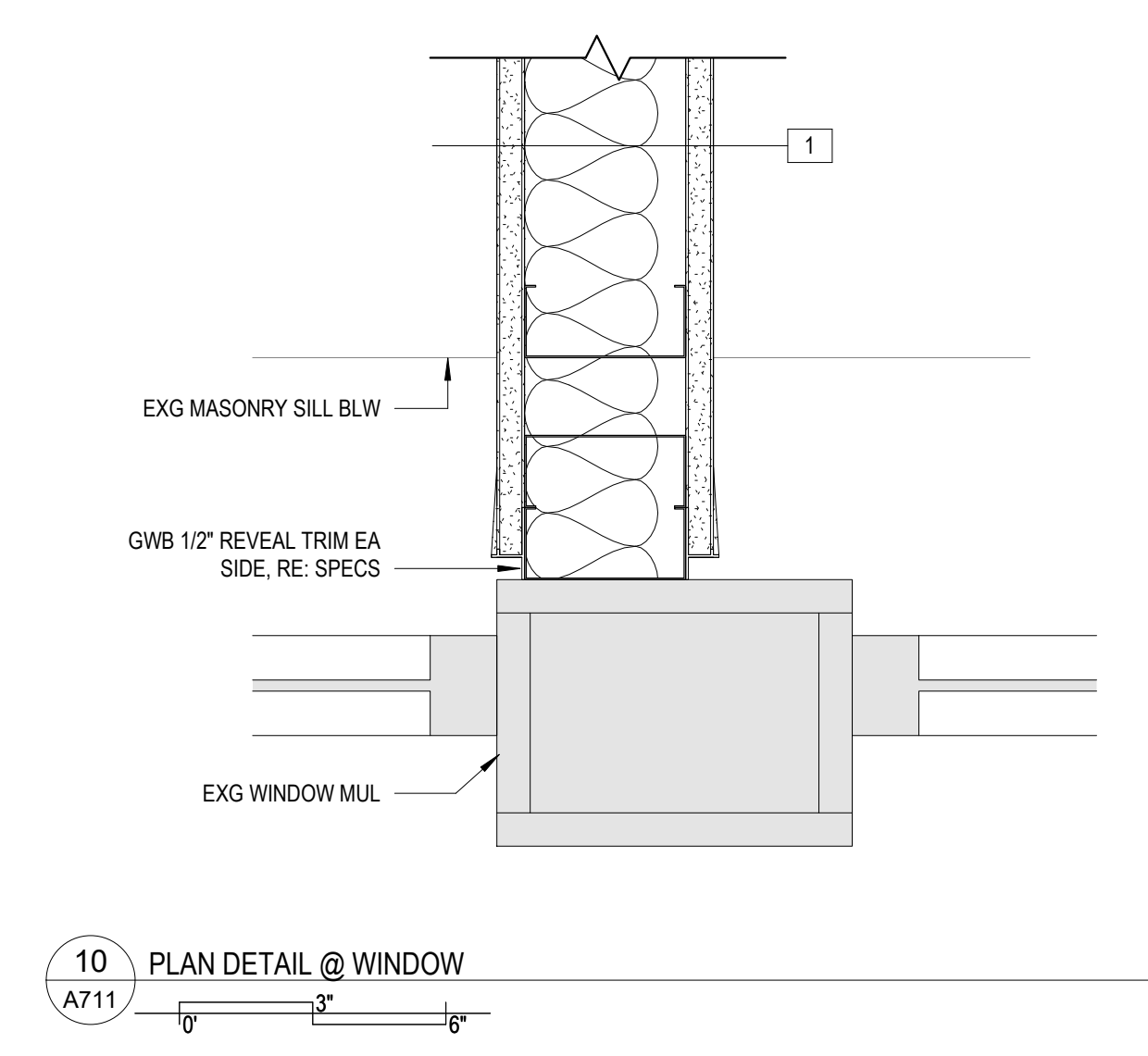
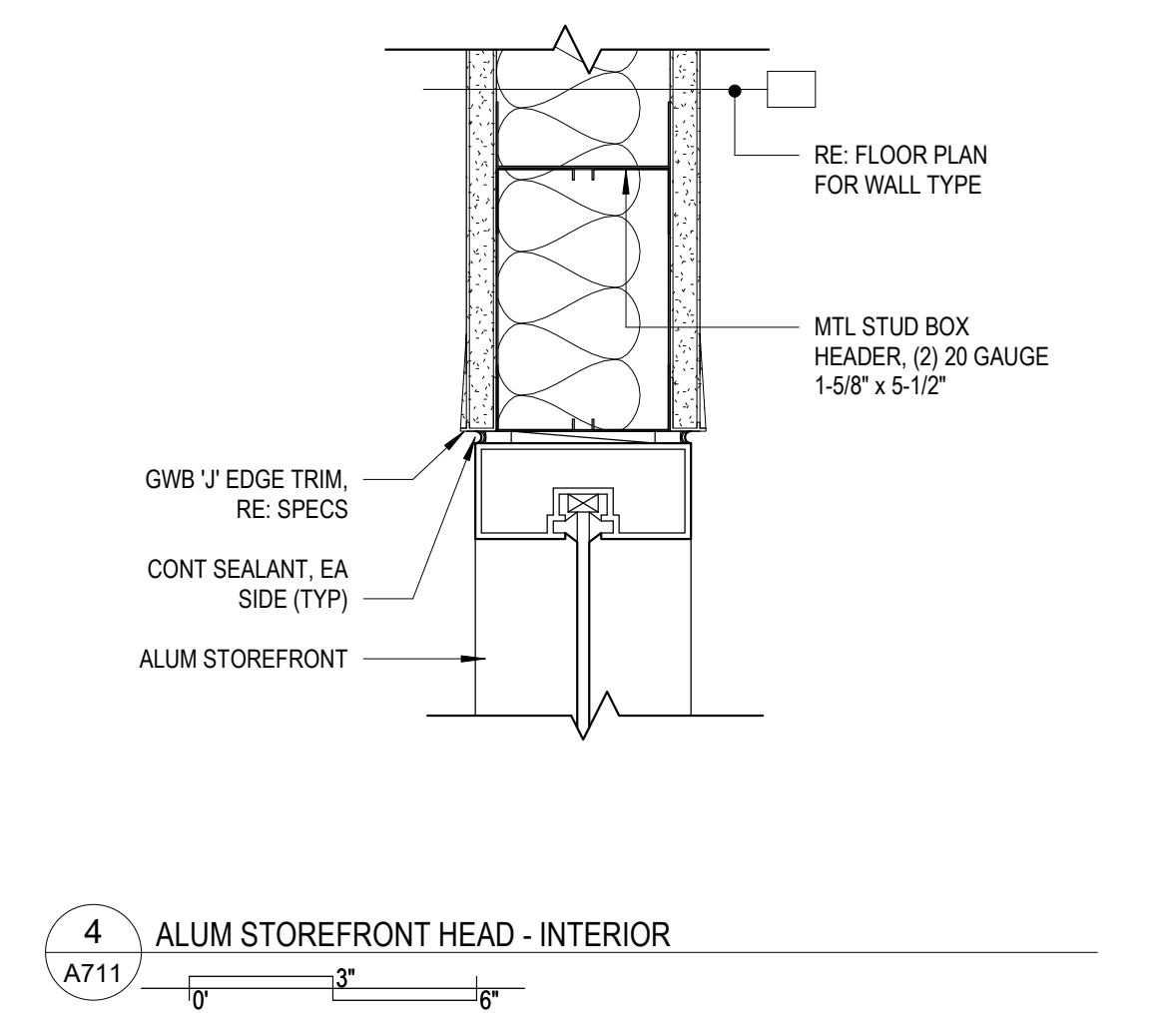
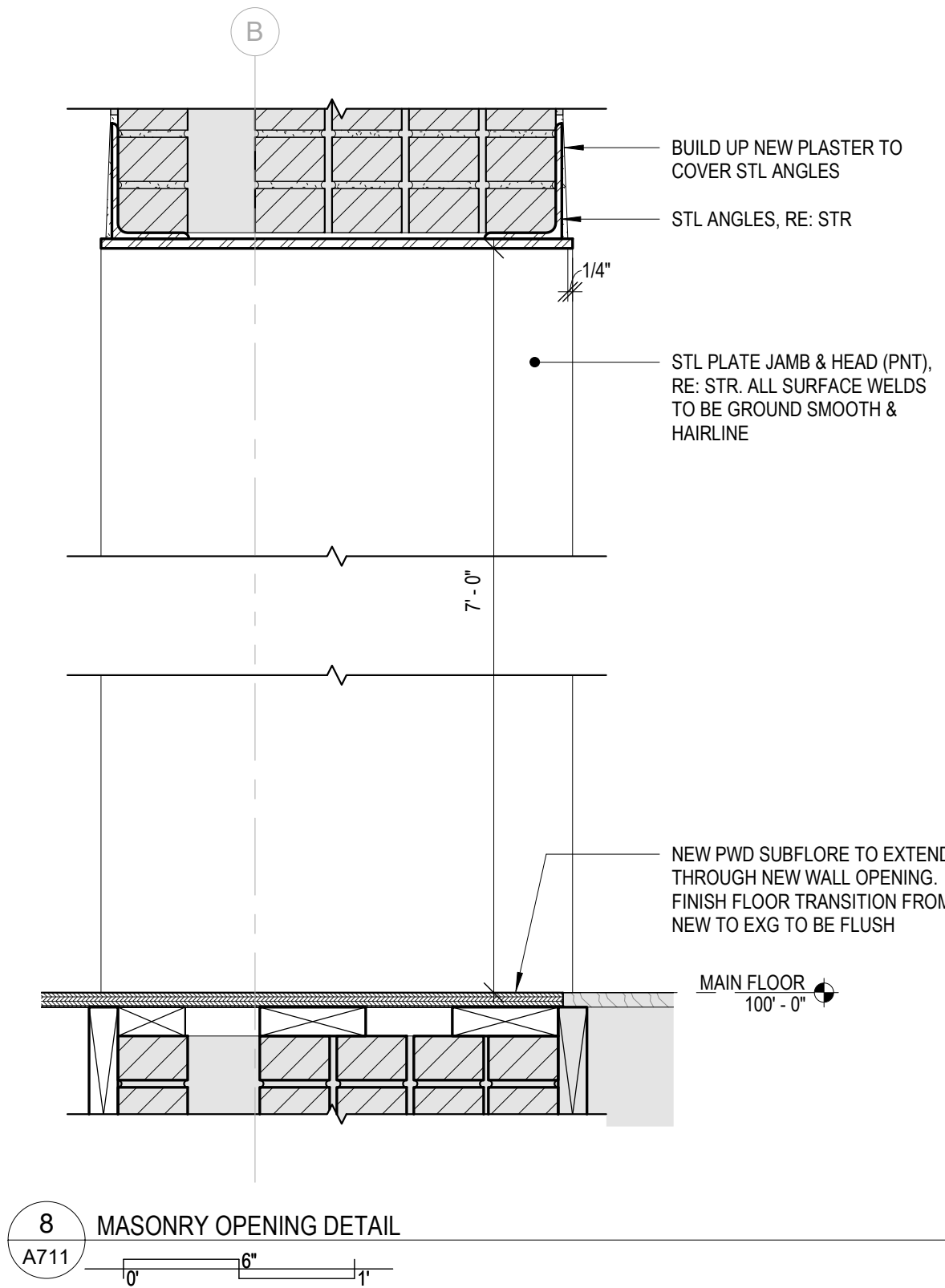
NO: ISSUED FOR: DATE:
ADD-02 12/01/22

PROJECT STATUS:
CONSTRUCTION DOCUMENTS

DATE: 11/7/2022 SHEET NO:

PROJECT NO:
2146.02

A101



**FRUITA CIVIC
CENTER - OFFICE
REMODEL**

FRUITA, COLORADO

DETAILS