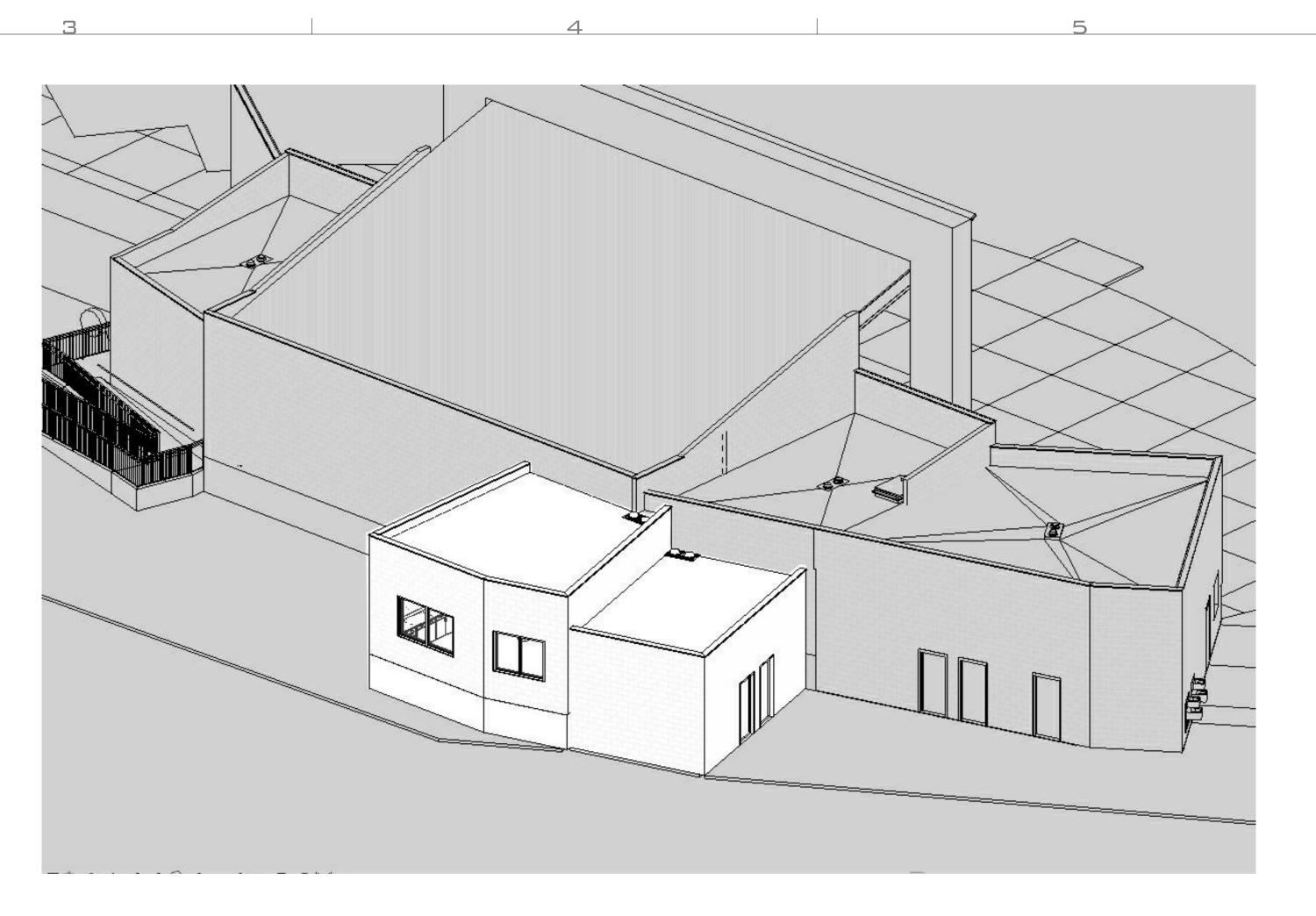
	)
OWNER	CITY OF GRAND JUNCTION, CO
	JEROD TIMOTHY, TEAM SUPERVISOR
	jerodt@gjcity.org
ARCHIT	'Е́СТ
	METHOD STUDIO
	360 WEST ASPEN AVENUE SALT LAKE CITY. UT 84101 801-532-4422
	KELLY MORGAN kelly@method-studio.com
CIVIL E	NGINEER
	CITY OF GRAND JUNCTION, CO
	TRENT PRALL, PE trentonp@gjcity.org
STRUC	TURAL ENGINEER
	BHB STRUCTURAL ENGINEERS 2766 SOUTH MAIN STREET SALT LAKE CITY, UT 84115 801-355-5656
	JEREL NEWMAN jerel.newman@bhbengineers.com
MECHA	NICAL ENGINEER
	SPECTRUM ENGINEERS 324 STATE STREET SALT LAKE CITY, UT 84111 801-328-5151
	MIKE NIELSEN mmn@spectrum-engineers.com
ELEGIF	RICAL ENGINEER SPECTRUM ENGINEERS
	324 STATE STREET SALT LAKE CITY, UT 84111 801-328-5151
	TYLER SQUIRE tds@spectrum-engineers.com

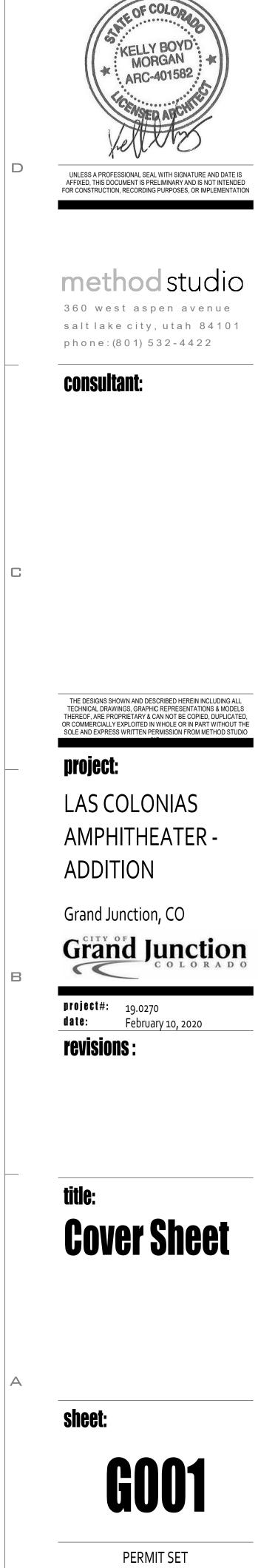
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# **LAS COLONIAS AMPHITHEATER - ADDITION** PERMIT SET February 10, 2020

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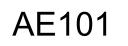


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F		1		Z
	Abbrev.		Abbrev.	ABBREVIATION SCI
	0		JST	JOIST
	# &	NUMBER OR POUND AND	JT L	JOINT
	2:1 SL	2 HORIZONTAL TO 1 VERTICAL SLOPE	L	LENGTH
	@ [	AT CHANNEL	LC LDC	LENGTH OF CURVE LEAD COVERED
	AD CL	AREA DRAIN CENTERLINE	LL LLH	LIVE LOAD LONG LEG HORIZONTAL
	L	ANGLE	LLV	LONG LEG VERTICAL
D	± ≤	PLUS MINUS LESS THAN OR EQUAL TO	LT M	LIGHT
	2	GREATER THAN OR EQUAL TO	MAS MATL	MASONRY MATERIAL
	A AB	ANCHOR BOLT	MAX	MAXIMUM
	AC ACST	APSHALTIC CONCRETE ACOUSTIC	MECH MET	MECHANICAL METAL
	ADJ AFF	ADJUSTABLE ABOVE FINISH FLOOR	MFR MH	MANUFACTURER MANHOLE
	AL	ALUMINUM	MIN	MINIMUM
	ALT ARCH	ALTERNATE ARCHITECTURAL, ARCHITECT, ARCHITECTURE	MISC MO	MISCELLANEOUS MASONRY OPENING
	ASPH B	ASPHALT	MTD MTG	MOUNTED MOUNTING
	В	BASELINE	MULL	MULLION
	B BEJ	BOTTOM BRICK EXPANSION JOINT	MWP N	MEMBRANE WATERPROOFING
	BLDG BLK	BUILDING BLOCK	N NA	NORTH NOT APPLICABLE
	BM	BEAM	NE	NORTHEAST
	BO BRG	BOARD BEARING	NEC NEUT	NATIONAL ELECTRIC CODE NEUTRAL
	BSMT C	BASEMENT	NIC NO	NOT IN CONTRACT NUMBER
	C&G	CURB & GUTTER	NOM	NOMINAL
	CAP CEM	CAPACITY CEMENT	NTS NW	NOT TO SCALE NIORTHWEST
	CG CIP	CORNER GUARD CAST IN PLACE, CAST IRON PIPE	O AO	OUTSIDE AIR
	CIR CJ	CIRCULATING CONTROL JOINT	OA OC	OUTSIDE AIR ON CENTER
	CL	CENTERLINE	OPP	OPPOSITE
С	CLG CLR	CEILING CLEAR	OVHD P	OVERHEAD
	CMU COL	CONCRETE MASONRY UNITS COLUMN	PI PL	POINT IF INTERSECTION PLATE
	CONC	CONCRETE	PLAS	PLASTER
	CONN CONST	CONNECTION CONSTRUCTION	PLYWD PNL	PLYWOOD PANEL
	CONT CPT	CONTINUOUS CARPET	PNT PRELIM	PAINT PRELIMINARY
	CSK CT	COUNTERSUNK CERAMIC TILE	PRESS PRIM	PRESSURE PRIMARY
	CTR	CENTER	PRTN	PARTITION
	D D	DEPTH	PT Q	POINT, POINT OF TANGENT
	DET DF	DETAIL DRINKING FOUNTAIN	QT R	QUARRY TILE
	DIA	DIAMETER	R	RADIUS
	DIM DN	DIMENSION DOWN	RA RB	RETURN AIR RESILIENT VINYL BASE
	DS DWG	DOWNSPOUT DRAWING	RCP RD	REINFORCED CONCRETE PIPE ROOF DRAIN
	E		RECP	RECEPTACLE
	E E/P	EAST EDGE OF PAVEMENT	REINF REQD	REINFORCEMENT REQUIRED
	EA EL	EACH ELEVATION	REV RF	REVISION ROOF
	ELECT ELEV	ELECTRICAL ELEVATOR	RFLCP RM	REFLECTIVE CEILING PLAN ROOM
	EMER	EMERGENCY	RVT	RESILIENT VINYL TILE
	EQ EQUIP	EQUAL EQUIPMENT	S S	SOUTH
	EW EWC	EACH WAY ELECTRIC WATER COOLER	SCH SD	SCHEDULE STORM DRAIN
В	EXIST	EXISTING	SE	SOUTHEAST
	EXP EXP JT	EXPANSION EXPANSION JOINT	SECT SHT	SECTION SHEET
	EXT F	EXTERIOR	SIM SL	SIMILIAR SLOPE
	FD		SPEC	SPECIFICATION
	FDN FE	FOUNDATION FIRE EXTINGUISHER	SQ STL	SQUARE STEEL
	FFE FH	FINISHED FLOOR ELEVATION FIRE HYDRANT	SUSP T	SUSPENDED
	FHC FIN	FIRE HOSE CABINET FINISH	T T&B	TOP TOP AND BOTTOM
	FLR	FLOOR	TEL	TELEPHONE
	FR FTG	FRAME FOOTING	TEMP TERM	TEMPORARY TERMINAL
	FXTR G	FIXTURE	THRSLD TO	THRESHOLD TOP OF
	G	GROUND	TOS	TOP OF STEEL, TOP OF SLAB
	GA GALV	GA GALVANIZED	TOW TYP	TOP OF WALL TYPICAL
	GL GR	GLASS GRADE	V VCT	VINYL COMPOSITION TILE
	GRD GWB			VENTILIATING
	Н	GYPSUM WALL BOARD	VERT VEST	VESTIBULE
	HB HC	HOSE BIBB HANDICAPPED	VWC W	VINYL WALL COVERING
	HDW HGT	HARDWARE HEIGHT	W W/	WIDTH, WEST WITH
	HORZ	HORIZONTAL	W/O	WITHOUT
A	HR HW	HOUR HOT WATER	WC WD	WATER CLOSET WIDTH
- •	I ID	INSIDE DIAMETER	WT WWF	WEIGHT WELDED WIRE FABRIC
	IE	INVERT ELEVATION	Х	
	INSUL INT	INSULATION INTERIOR	Х	TRANSFORMER
	INTX INV	INTERSECTION INVERT		
	J			
	JB JCT	JUNCTION BOX JUNCTION		

## CHEDULE

#### **ARCHITECTURAL SYMBOLS** (SEE RESPECTIVE DISCIPLINES FOR SYMBOLS



(1)

A100

?

(1t)

(P?)

(101)

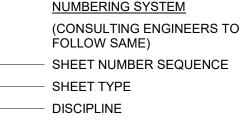
 $\langle XX \rangle$ 

C1 10' - 0"

В

( **A** )

(2)



SHEET

GRID REFERENCE MARK A1 STARTS AT LOWER LEFT CORNER, NUMBERS ARE VERTICAL GRIDS & LETTERS ARE HORIZONTAL GRIDS

REVISION CLOUD CLOUDED AREA DELTA MARKER

OCCUPANT LOAD TAG ROOM NUMBER OCCUPANT LOAD

LOAD FACTOR ROOM AREA

KEYNOTE TAG

WINDOW/CURTAIN WALL TAG

CURTAIN PANEL TAG DOOR TAG

WALL TAG

ROOM TAG

ROOM NAME

ROOM NUMBER

LEVEL DATUM

LEVEL NAME

LEVEL ELEVATION

NORTH ARROW

AREA OR VOLUME

<u>CEILING TAG</u> CEILING TYPE CEILING HEIGHT

ROOM NAME -

Name Elevation

(1-) A101

1 A101

A101

A101

A101

1/8" = 1'-0"

A101

'nnrth

DETAIL PLAN POSITION ON SHEET SHEET NUMBER

DETAIL SECTION POSITION ON SHEET SHEET NUMBER

**BUILDING SECTION** POSITION ON SHEET SHEET NUMBER

**BUILDING SECTION - PARTIAL** POSITION ON SHEET SHEET NUMBER

WALL SECTION POSITION ON SHEET SHEET NUMBER

EXTERIOR ELEVATION - POSITION ON SHEET SHEET NUMBER

INTERIOR ELEVATION POSITION ON SHEET SHEET NUMBER

VIEW NAME DRAWING SCALE DRAWING NUMBER



### 02 SITE CONSTRUCTION 06 WOODS AND PLASTICS

	EARTH (existing)
	EARTH (backfill)
	DRAINAGE FILL COMPACTED FILL
03 CONC	RETE
	CONCRETE - CAST-IN-
,	PLACE
	CONCRETE - PRECAST
<u>04 MASO</u>	NRY
	BRICK
	CONCRETE MASONRY UNITS

GLASS BLOCK

CAST STONE

STONE

GROUT

05 METALS

STEEL

ALUMINUM

	CONTINUOUS WOOD
	INTERMITTENT WOOD
	SHEATHING
	FINISH WOOD
	HARDBOARD
+ + + + + + + + + + + + + + + + + + + +	PARTICLE BOARD

07 THERMAL & MOISTURE PRO BATT INSULATION

LOOSE FILL INSULATION **RIGID INSULATION** 

#### 09 FINISHES

GYPSUM BOARD

#### **MISCELLANEOUS GENERAL NOTES**

- 1. THE PROJECT MANUAL, UNDER SEPARATE COVER, IS AN INTEGRAL PART OF
- THESE CONSTRUCTION DRAWINGS. 2. PLANS, SECTIONS, ELEVATIONS, DETAILS AND DIMENSIONS LABELED "TYPICAL" SHALL APPLY TO ALL SITUATION OCCURRING THAT ARE THE SAME
- OR SIMILAR TO THOSE SPECIFICALLY KEYED ON THE DRAWINGS. 3. ALL WORK, MATERIALS, AND METHODS SHALL BE IN CONFORMANCE WITH T CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIE HAVING JURISDICTION AT THE PROJECT LOCATION.
- 4. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE PART OF THE CONTRACT AS DEFINED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK DEPICTED OR SPECIFIED.
- 5. CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION ON THE DOCUMENTS. 6. KEEP SITE CLEAN AND CLEAR OF DEBRIS AND IN ORDERLY CONDITION THAT
- DOES NOT DETRACT FROM THE SURROUNDING SITE AND REPAIR ANY DAMAGE CAUSED BY WORK OF THE CONTRACT. 7. ALL DIMENSIONS ARE TO THE FACE OF METAL OR WOOD STUD FRAMED WALLS AND TO THE FACE OF CONCRETE AND MASONRY WALLS AS SHOWN,
- UNLESS NOTED OTHERWISE. 8. INSTALL SEALANT AT EXTERIOR SIDE OF ALL JOINTS, SEAMS, CONNECTIONS OR OPENINGS WHICH WOULD ALLOW WATER OR AIR INFILTRATION EXCEPT AS NOTED OTHERWISE. SEALANT COLOR TO MATCH ADJACENT SURFACE.
- COLOR REQUIRES ARCHITECTS APPROVAL. 9. DOOR OPENINGS IN FRAME CONSTRUCTION WHICH ARE NOT DIMENSIONED ARE EITHER CENTERED IN THE WALL, FACE OF JAMB OR LOCATED 4" FROM THE FACE OF STUD TO THE FINISHED JAMB.
- 10. ALL SPECIAL ACCESSIBLE FACILITIES SHALL BE IDENTIFIED WITH APPROVED SIGNAGE. 11. THE CONTRACTOR IS RESPONSIBLE FOR PRODUCING A WEATHER TIGHT
- BUILDING, DETAILS AND OMISSIONS TO DRAWINGS NOTWITHSTANDING. ALL DRAWING CONFLICTS WHICH MAY NOT ALLOW A WEATHERTIGHT CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 12. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL SUBMIT SPECIFIC DISCREPANCIES FOR ARCHITECT REVIEW. 13. PROVIDE FULL METAL BACKING PLATE (16 GAUGE X 6" HIGH SECURED TO 3
- STUDS MIN.) OR WOOD BLOCKING AS REQUIRED TO SECURELY ANCHOR ALL WALL MOUNTED EQUIPMENT (CABINETS, TOILET ROOM ACCESSORIES, HARDWARE, ETC.). BLOCKING SHALL PROVIDE A RIGID CONNECTION CAPABLE OF SUPPORTING DESIGN LOADS. PROVIDE A 16 GAUGE X 6" STL. STUD/TRACK SECURED TO 2 STUDS TO SECURELY SUPPORT ALL WALL STOPS (DOOR BUMPER).
- 14. COORDINATE WITH ALL TRADES, SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS OR BASES, AS WELL AS ELECTRIC POWER, WATER, AND DRAIN INSTALLATIONS, BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES' WORK. ANY CONCERNS, SPACE LIMITATIONS OR STRUCTURAL CONFLICTS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. A REASONABLE RESPONSE TIME SHALL BE ALLOWED AS NOTED IN THE SPECIFICATIONS.
- 15. ALL FLOOR OR WALL OPENINGS REQUIRED FOR PIPES, DUCTS, CONDUITS, ETC. SHALL BE SEALED IN AN APPROVED MANNER.
- 16. FIRE SPRINKLER DESIGN TO BE DONE BY A CERTIFIED SUB-CONTRACTOR AND WILL REQUIRE APPROVALS BY THE CITY AND STATE FIRE MARSHAL. APPROVALS BY THE FIRE MARSHAL ARE TO BE OBTAINED BY THE CONTRACTOR PRIOR TO SUBMITTAL TO ARCHITECT. SUBMITTAL TO THE ARCHITECT ALSO INDICATES THAT THE CONTRACTOR HAS REVIEWED AND
- COORDINATED FIRE-SPRINKLER PIPING LOCATIONS WITH ALL TRADES. 17. ROOMS ENCLOSED WITH RATED WALLS REQUIRE RATED DOORS. ANY DUCTS PASSING THROUGH WALLS REQUIRE FIRE DAMPERS AND OR FIRE/SMOKE DAMPERS. ANY CONDUIT OR PIPING REQUIRES RATED SEALANT AT JOINTS. 18. GENERAL STRUCTURAL NOTES GOVERN TYPICAL CONDITIONS WHETHER OR
- NOT SPECIFICALLY DETAILED OR NOTED. 19. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND LOCATE ELECTRICAL, DATA AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID
- CASEWORK, DOORS, ETC. 20. THE DRAWINGS AND SPECIFICATIONS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL AND STRUCTURAL DESIGN CONCEPT. THE DIMENSIONS OF THE BUILDING, THE TYPE OF STRUCTURAL, MECHANICAL, ELECTICAL AND UTILITY SYSTEMS AND MAJOR ARCHITECTURAL
- ELEMENTS OF CONSTRUCTION AS "SCOPE" DOCUMENTS. 21. THE DRAWINGS AND SPECIFICATIONS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE WORK. CONTRACTS SHALL BE LET ON THE BASIS OF SUCH DOCUMENTS, WITH THE UNDERSTANDING THAT THE CONTRACTOR IS TO FURNISH ALL ITEMS REQUIRED FOR PROPER COMPLETION OF THE WORK WITH OUT ADJUSTMENT TO CONTRACT PRICE. IT IS INTENDED THAT THE WORK TO BE OF SOUND AND QUALITY CONSTRUCTION AND THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INCLUSION OF ADEQUATE AMOUNTS TO COVER INSTALLATION OF ALL ITEMS INDICATED, DESCRIBED OR REASONABLY IMPLIED.

#### DRAWING INDEX

G001 COVER SHEET G002 GENERAL INFORMATION

CIVIL

#### NONE

#### ARCHITECTURAL

<u>OTECTION</u>	G003 G004 G101 AD101 AE101 AE102 AE201 AE301 AE310 AE401 AE501 AE601 AF100	ACCESSORY MOUNTING HEIGHTS WALL TYPES CODE PLAN - CODE ANALYSYS DEMOLITION PLAN FLOOR PLAN AND CEILING PLANS ROOF PLAN EXTERIOR ELEVATIONS BUILDING SECTIONS WALL SECTIONS INTERIOR ELEVATIONS DETAILS DOOR/WINDOW SCHEDULES & TYPES FINISH FLOOR PLAN

#### STRUCTURAL

	S111 S501 S502 S511	DETAILS DETAILS DETAILS
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#### MECHANICAL/PLUMBING

ME001	MECHANICAL COVER SHEET
ME002	HVAC NOTES
ME003	HVAC NOTES
MH101	MECHANICAL PLANS
ME501	HVAC DETAILS
ME601	MECHANICAL SCHEDULES
PE001	PLUMBING COVER SHEET
PE002	PLUMBING NOTES
PE003	PLUMBING NOTES
PL101	PLUMBING PLANS
PE501	PLUMBING DETAILS
PE601	PLUMBING SCHEDULES

#### ELECTRICAL

IE	EE001	SHEET INDEX, ABBREVIATIONS, AND GENERAL NOTES
THE	EE501	ELECTRICAL DETAILS
ES	EE701	TYPICAL MOUNTING HEIGHT DETAILS
LJ	EE702	TYPICAL MOUNTING HEIGHT DETAILS
	EP101	STAGE LEVEL POWER PLAN
	EP601	ELECTRICAL SCHEDULES
	EL101	STAGE LEVEL LIGHTING PLAN
	EL601	LIGHTING FIXTURE SCHEDULE

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360 west aspen avenue saltlake city, utah 84101 phone:(801) 532-4422

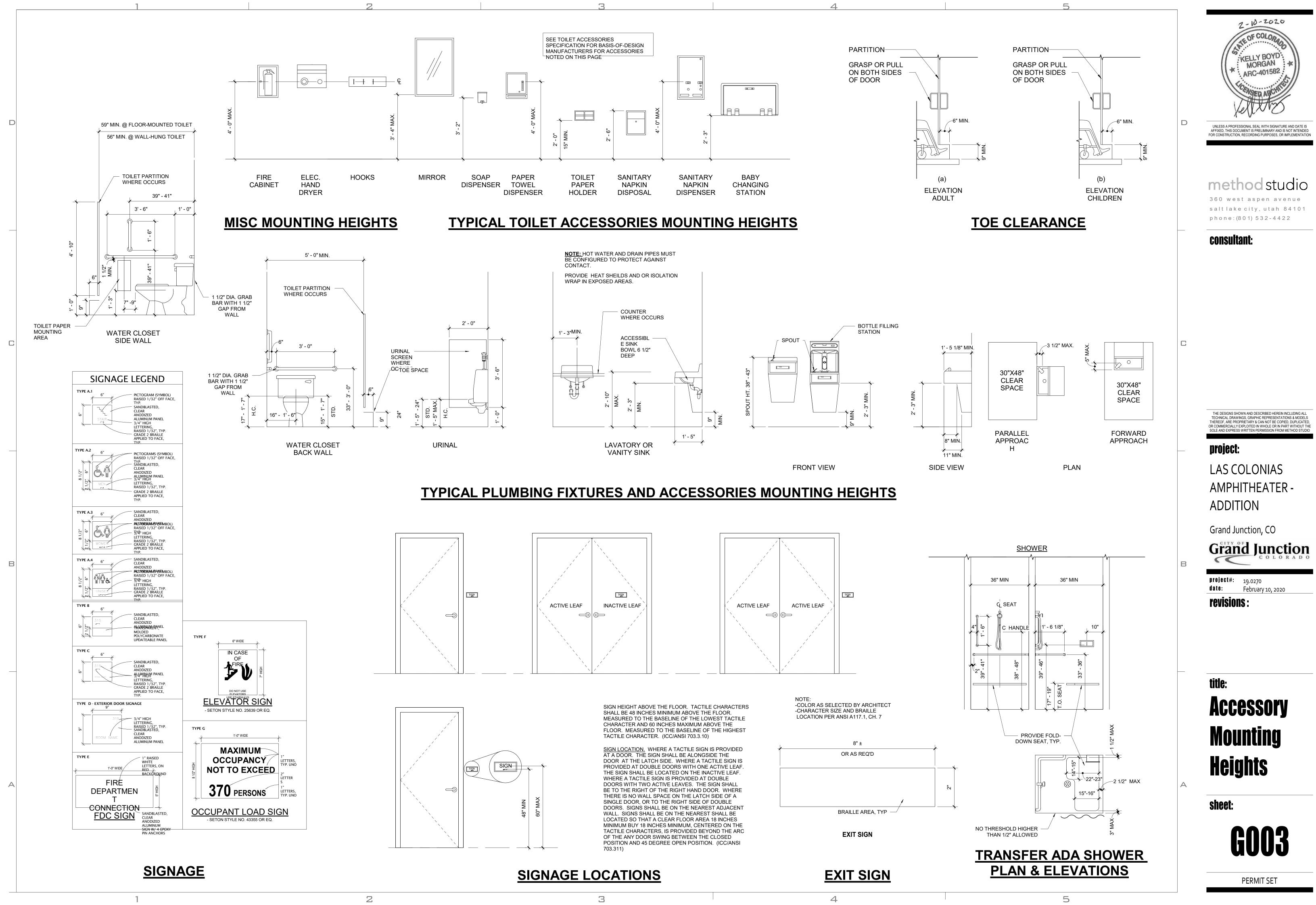
#### **consultant**:

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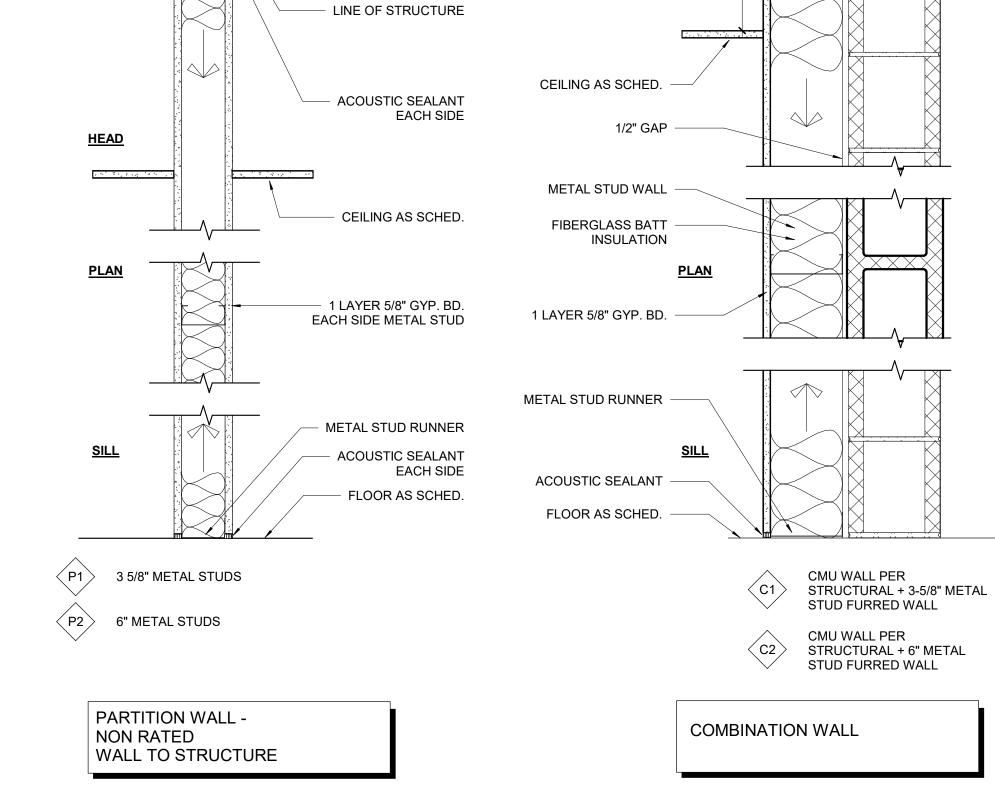
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sheet:

PERMIT SET



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4

<u>HEAD</u>

## WALL TYPES GENERAL NOTES -

1. REFER TO FLOOR PLAN "AE" SERIES FOR LOCATION OF WALL TYPES. ALL WALLS ARE TYPE "P2" UNLESS NOTED OTHERWISE.

2. REFER TO SCHEDULES & DETAILS FOR FINISHES. WALL TYPES REVER TO BASE WALL ONLY.

3. "LINE OF STRUCTURE" AS SHOWN AT THE HEAD CONDITIONS OF EACH WALL TYPE IS DIAGRAMMATIC ONLY AND DOES NOT INDICATE THE EXACT CONSTRUCTION CONDITION. RATED WALLS ARE TO TERMINATE AT STRUCTURAL MEMBERS WITH A FIRE RESISTANT RATING. WHERE REQ'D APPROPRIATE FRAMING AND GYP BOARD IS TO BE INSTALLED AND OFFSET AROUND STRUCTURAL MEMBERS OR OTHER OBSTRUCTIONS SUCH AS PIPING OR DUCTWORK. TO MAINTAIN THE FIRE RESISTANCE RATING. NON-RATED WALLS THAT CONTINUE TO STRUCTURE ARE TO TERMINATE AT PROPER LOCATIONS TO MAINTAIN THE INTENT OF THE CONTINUOUS PLANE OF ONE LAYER OF GYP BOARD AS A NOISE, SMOKE OR OTHER TYPE OF BARRIER.

4. ALL GYP BOARD SHALL BE 5/8", UNLESS NOTED OTHERWISE.

5. ALL RATED WALLS SHALL BE CONSTRUCTED FIRST. SECONDARY WALLS TO ABUTT, BUT NOT PENETRATION RATED WALLS.

6. APPROPRIATE SUBMITTAL INFORMATION MUST BE PROVIDED TO SUBSTANTIATE THAT THE MATERIALS AND ASSEMBLY USED BY THE CONTRACTOR HAVE BEEN TESTED BY A RECOGNIZED TESTING AGENCY TO MEET THE FIRE RESISTANCE RATING SCHEDULED ON THESE WALL TYPES.

7. FIRESTOPPING TO BE PROVIDED AT PENETRATIONS THROUGH RATED WALLS AS SPECIFIED.

8. ALL GYPSUM WALL BOARD MUST BE MOISTURE RESISTANT AT THE FOLLOWING LOCATIONS: a. TOILET ROOMS

b. WET WALLS

c. SHOWERS d. JANITOR'S CLOSETS

9. SOUND ATTENUATION BLANKETS SHALL EXTEND THE FULL HEIGHT IF THE WALLS.

10. SPACING OF THE METAL STUDS HAS NOT BEEN INDICATED ON THE WALL TYPOES OR DETAILS. STUD SPACING IS TO BE DETERMINED BY THE HEIGHT OF THE PARTITION AS SHOWN IN THE TABLE BELOW. EACH STUD GOING TO STRUCTURE AND EXCEEDING ALLOWABLE HEIGHTS SHALL BE BRACED 45 DEGREES DIAGONALLY 12" ABOVE CEILING WITH EQUAL SIZE 20 GA. METAL STUDS. THIS TABLE IS TO BE USED FOR THE INTERIOR WALL TYPES ONLY AND DOES NOT APPLY TO EXTERIOR STUDS. USE 20 GA STUDS AT ALL HEAD AND JAMB LOCATIONS.

11. REFER TO INTERIOR DETAILS FOR ADDITIONAL INFORMATION.

12. UL DESIGN NUMBERS REFER TO FIRE RESISTANCE IN MOST CURRENT EDITION OF THE UL DIRECTORY.

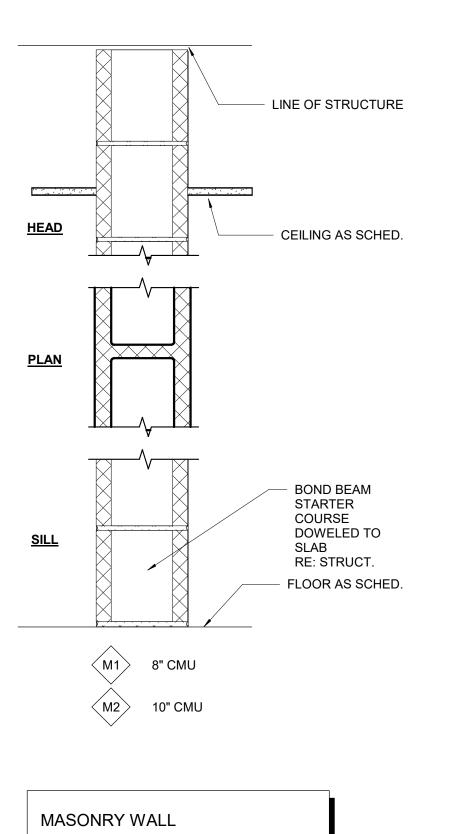
13. SUPPORT INSULATION WITH CHICKEN WIRE IN PARTITIONS WITHOUT GYP BOARD ON BOTH SIDES TO STRUCTURE.

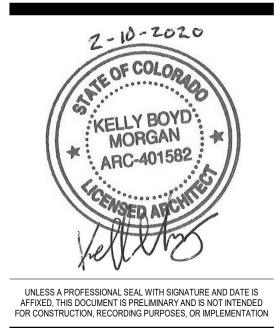
14. MAINTAIN 1/2" SPACE BETWEEN FLOOR SLAB AND BOTTOM OF GYP BOARD ON ALL WALLS.

15. STOP STUD 1" BELOW METAL RUNNER (TOP TRACK) TO ALLOW FOR VERTICAL EXPANSION DO NOT ATTACH STUDS OR GYP BOARD TO TOP TRACK.

FACING ON	STUD	STUD	STUD	STUD
SIDES OF	SPAC'G ON	DEPTH 2 1/2"	DEPTH 3 5/8"	DEPTH 6"
STUDS	CENTER	MAX. HT.	MAX. HT.	MAX. HT.
1 LAYER 5/8" GYP	16	11'-0"	14'-6"	14'-6"
BD - 1 SIDE ONLY	24	9'-9"	12'-9"	12'-9"
1 LAYER 5/8" GYP	16	12'-0"	16'-0"	16'-0"
BD - EACH SIDE	24	10'-9"	13'-6"	13'-6"
2 LAYER 5/8" GYP BD - EACH SIDE	16 24		16'-9" 13'-6"	

HEIGHT IS DISTANCE FROM THE FLOOR TO THE STRUCTURE, NOT
 FLOOR TO CEILING
 BRACING AT MIDPIOINT PREQUIRED FOR ALL WALLS OVER 12'-0" HIGH
 ALL WALLS GO TO DECK





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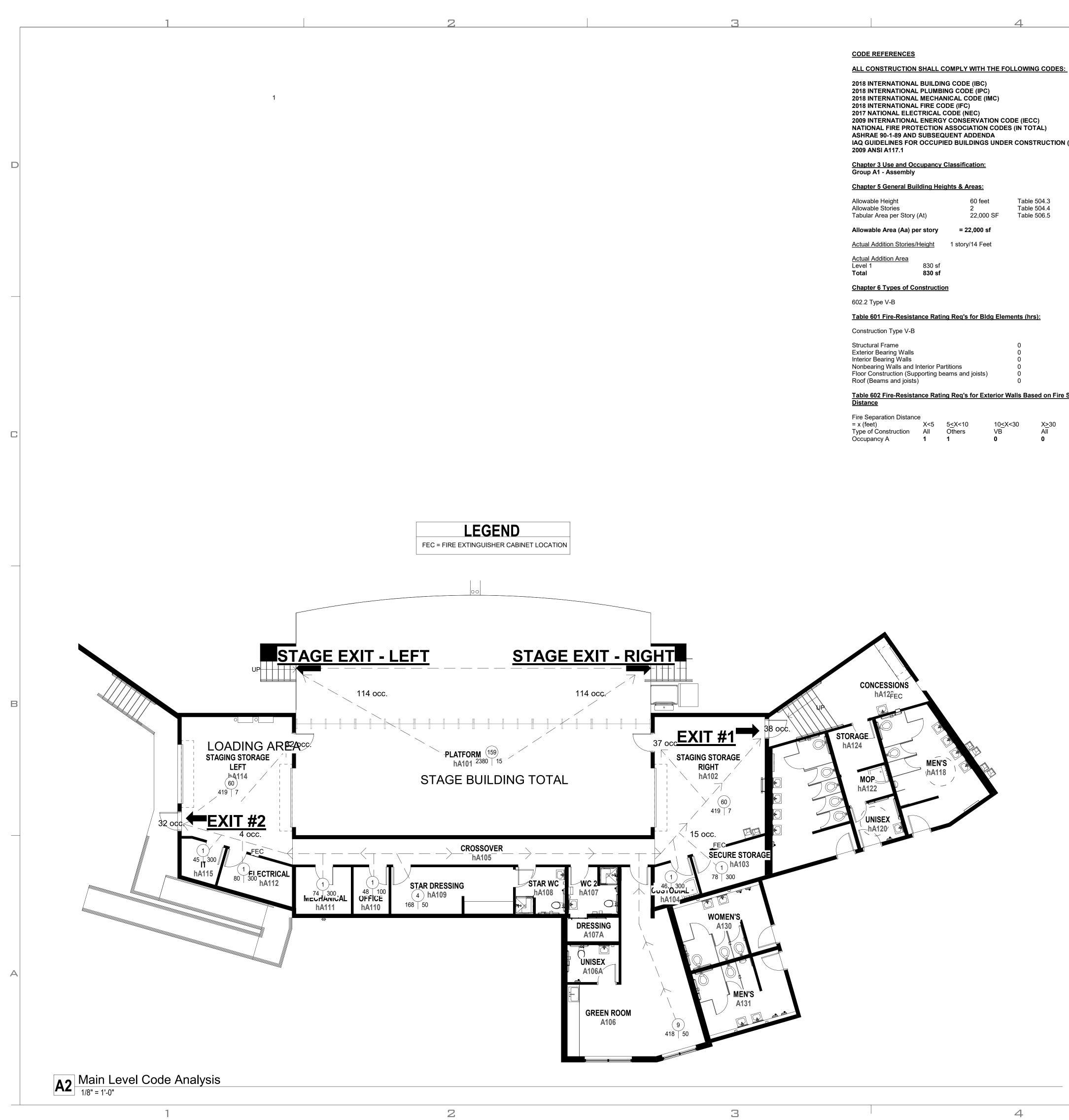
360 west aspen avenue salt lake city, utah 84101 phone:(801) 532-4422

## consultant:

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PERMIT SET



IAQ GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION (SMACNA)

Allowable Height Allowable Stories Tabular Area per Story (At)	60 feet 2 22,000 SF	Table 504.3 Table 504.4 Table 506.5
Allowable Area (Aa) per story	= 22,000 sf	
Actual Addition Stories/Height	1 story/14 Feet	
Actual Addition Area		

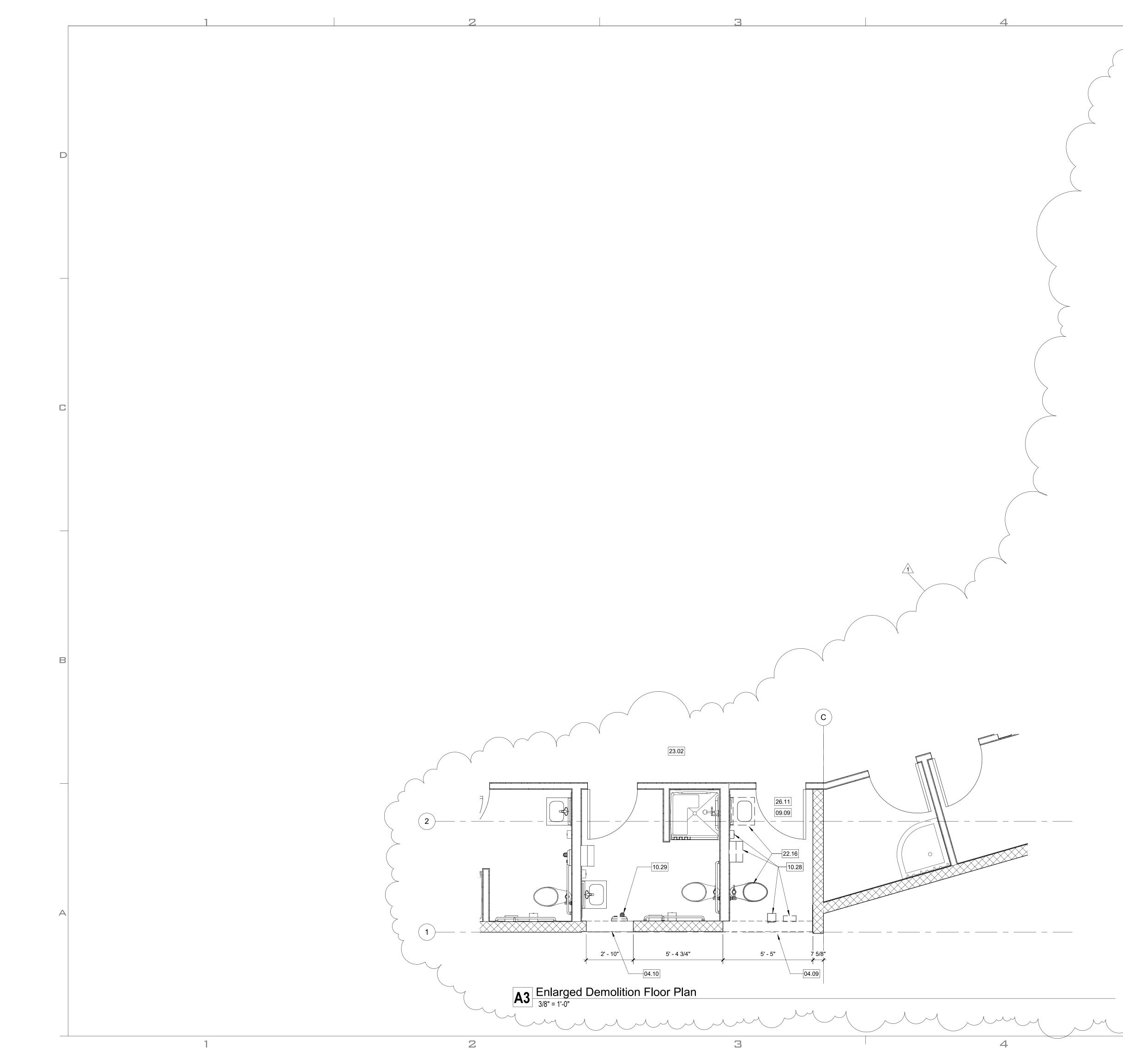
Table 601 Fire-Resistance Rating Reg's for Bldg Elements (hrs):

Structural Frame
Exterior Bearing Walls
Interior Bearing Walls
Nonbearing Walls and Interior Partitions
Floor Construction (Supporting beams and joists)

Table 602 Fire-Resistance Rating Req's for Exterior Walls Based on Fire Separation Distance

Fire Separation Distance	e			
= x (feet)	X<5	5 <u>&lt;</u> X<10	10 <u>&lt;</u> X<30	X <u>&gt;</u> 30
Type of Construction	All	Others	VB	All
Occupancy A	1	1	0	0

Chapter 7 Fire & Smoke Protection Features      Maximum Area of Exterior Wall Openings (Table 705.8)      Fire Separation Distance:    30 or greater      Protection    UP,S      Allowable Area    No Limit      Fire Partitions (709.3)      Fire partitions shall have a fire-resistance rating of not less than 1 hour.      IBC Table 803.13 Interior Wall And Ceiling Finish Requirements By Occupancy:      Occupancy Group A1 (Sprinkled):      Vertical exits and exit passageways - Class B      Exit access corridors and other exitways - Class B,      Rooms and enclosed spaces - Class C      Fire Protection System: NFPA 13      Fully sprinklered with approved system as required by Sec. 903.2.1.1      Portable fire extinguishers are required by Sec 906.1      Occupant Load Calculations (Table 1004.5)      Total Building Occupancy = 298 occupants      Egress Width (Sec 1005.3/1005.3.2)      Stars -      Stage Level -      298 occ x 0.3" per occ = 89.4" min. required      All other egress components -      298 occ x 0.3" per occ = 59.6"      Actual stairway width provided -      From Stage Level = 168"      All others allowed per code, 36" min		
IBC Table 1006.3.2 Minimum Number Of Exits For Occupant Load:      Occupant Load: <500	C	
	B	<text><text><section-header><text><text><text><text><text><text></text></text></text></text></text></text></section-header></text></text>
HEALTH DEPARTMENT NOTE:        THIS PROJECT SHALL ADHERE TO THE CURRENT VERSION OF THE "URANIUM MILL TAILINGS MANAGEMENT PLAN" (UMTMP)        https://www.colorado.gov/pacific/sites/default/files/HM_umilltail-mgt-plan.pdf        PER THE DOCUMENT MENTIONED ABOVE, IF ANY SITE MATERIAL IS TO BE REMOVED FROM THE SITE, IT MUST BE FIRST CHECKED FOR RADIOACTIVITY. IF IT IS UNDER THE LIMITS FOUND IN THE UMTMP. THEN IT MAY BE REMOVED, BUT NOT BEFORE. A LOG OF THIS SHOULD BE KEPT. IF IT IS NOT UNDER THE LIMITS, THEN IT MAY LEAVE THE SITE TO A LICENSED DISPOSAL FACILITY OR TO THE INTERIM STORAGE FACILITY AT THE CITY YARD, AS DESCRIBED IN THE UMTMP.		title: Code Plan - Code Jaal Code Saal Sheet: Code Sheet: Code Sheet: Code Sheet: Code Sheet:



# **GENERAL NOTES - DEMOLITION**

CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, MATERIALS, FINISHES AND DIMENSIONS BEFORE AND AFTER DEMOLITION, AND TO CONTACT THE ARCHITECT IF ANY UNFORESEEN CONDITIONS OCCUR.

CONTRACTOR SHALL PROTECT EXISTING STRUCTURE, ASSEMBLIES AND EQUIPMENT AS REQUIRED FROM DEMOLITION WORK. REPAIR, PATCH AND/OR REPLACE EXISTING CONSTRUCTED ITEMS AND EQUIPMENT THAT ARE TO REMAIN AS REQUIRED FOR NEW CONSTRUCTION.

THE CONTRACTOR SHALL PATCH AND REPAIR TO MATCH EXISTING FINISHES AT WALLS, FLOORS, CEILINGS, SOFFITS, ETC. AS REQUIRED IN THOSE AREAS NOT SPECIFICALLY CALLED OUT IN THE DRAWINGS, BUT THAT ARE EFFECTED BY CONSTRUCTION.

CONTRACTOR TO PATCH/REPAIR ALL AREAS RESULTING FROM DEMOLITION AND PREPARE SUCH SURFACES TO RECEIVE SCHEDULED FINISHES.

REFER TO MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION COORDINATION.

CONTRACTOR SHALL PROVIDE A 6 MIL. POLYETHYLENE DUST BARRIER FROM FLOOR TO DECK ABOVE TO ENSURE THAT ALL CORRIDORS OUTSIDE OF CONSTRUCTION AREA ARE KEPT CLEAN AND CLEAR OF DEBRIS & OBSTRUCTIONS AT ALL TIMES.

UPON COMPLETION OF CONSTRUCTION IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY CLEAN ALL AREAS IN WHICH CONSTRUCTION TOOK PLACE AND AREAS AFFECTED BY CONSTRUCTION. THE GENERAL CONTACTOR SHALL CLEAN ALL FLOORING, REMOVE ALL DUST, CLEAN DOORS AND FRAMES, LIGHT FIXTURES, CEILING SYSTEMS, MECHANICAL GRILLES, ELECTRICAL PANELS, WINDOW SYSTEMS, GLAZING, ETC.

CONTRACTOR TO KEEP AN ACTIVE PEDESTRIAN PATHWAY & EGRESS ROUTES FREE OF OBSTRUCTION AT ALL TIMES THROUGHOUT THE PROJECT.

CONTRACTOR TO PREVENT WATER BUILD UP AND/OR DAMAGE TO FOUNDATIONS ON THE CONSTRUCTION SITE OR ADJACENT AREAS.

#### Keynote Legend

04.09	REMOVE CMU BLOCK ACCORDING TO DIMENSION SHOWN. REMOVE TO A HEIGHT OF 10'-0" ABOVE STAGE LEVEL.
04.10	REMOVE CMU BLOCK ACCORDING TO DIMENSION SHOWN. REMOVE TO A HEIGHT OF 7'-4" ABOVE STAGE LEVEL.
09.09	REMOVE EXISTING GRID CEILING IN THIS ROOM
10.28	REMOVE RESTROOM ACCESSORIES AND PATCH/REPAIR WALL AS REQUIRED
10.29	REMOVE HAND DRYER AND RELOCATE NEAR SHOWER. SEE NEW FLOOR PLAN
22.16	REMOVE PLUMBING FIXTURES, CAP PLUMBING LINES AND REPAIR DRYWALL
23.02	CONTRACTOR TO VERIFY LOCATIONS AND SIZES OF EXISTING PIPING, DUCTWORK, AND PLUMBING SYSTEMS FOR TIE INS. MINOR MODIFICATIONS ARE ANTICIPATED, CONTRACTOR TO MAKE THESE ADJUSTMENTS ACCORDINGLY
26.11	EXISTING ELECTRICAL DEVICES AND EQUIPMENT IN THIS AREA ARE TO BE REMOVED INCLUDING LIGHT FIXTURE, SWITCH, SENSOR, DUPLEX RECEPTACLE AND EXHAUST FAN CONNECTION. REMOVE DEVICES AND CAP EXISTING BOXES THAT REMAIN. MAINTAIN EXISTING CIRCUITING TO DEVICES AND CIRCUITS THAT REMAIN.

2-10-2020-OF COLOR KELLY BOYD MORGAN ARC-401582 ; D UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES, OR IMPLEMENTATION method studio 360 west aspen avenue saltlake city, utah 84101/ phone:(801)532-4422 consultant: THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATIONS & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALLY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM METHOD STUDIO project: LAS COLONIAS AMPHITHEATER -ADDITION Grand Junction, CO Grand Junction project#: 19.0270 date: February 10, 2020 

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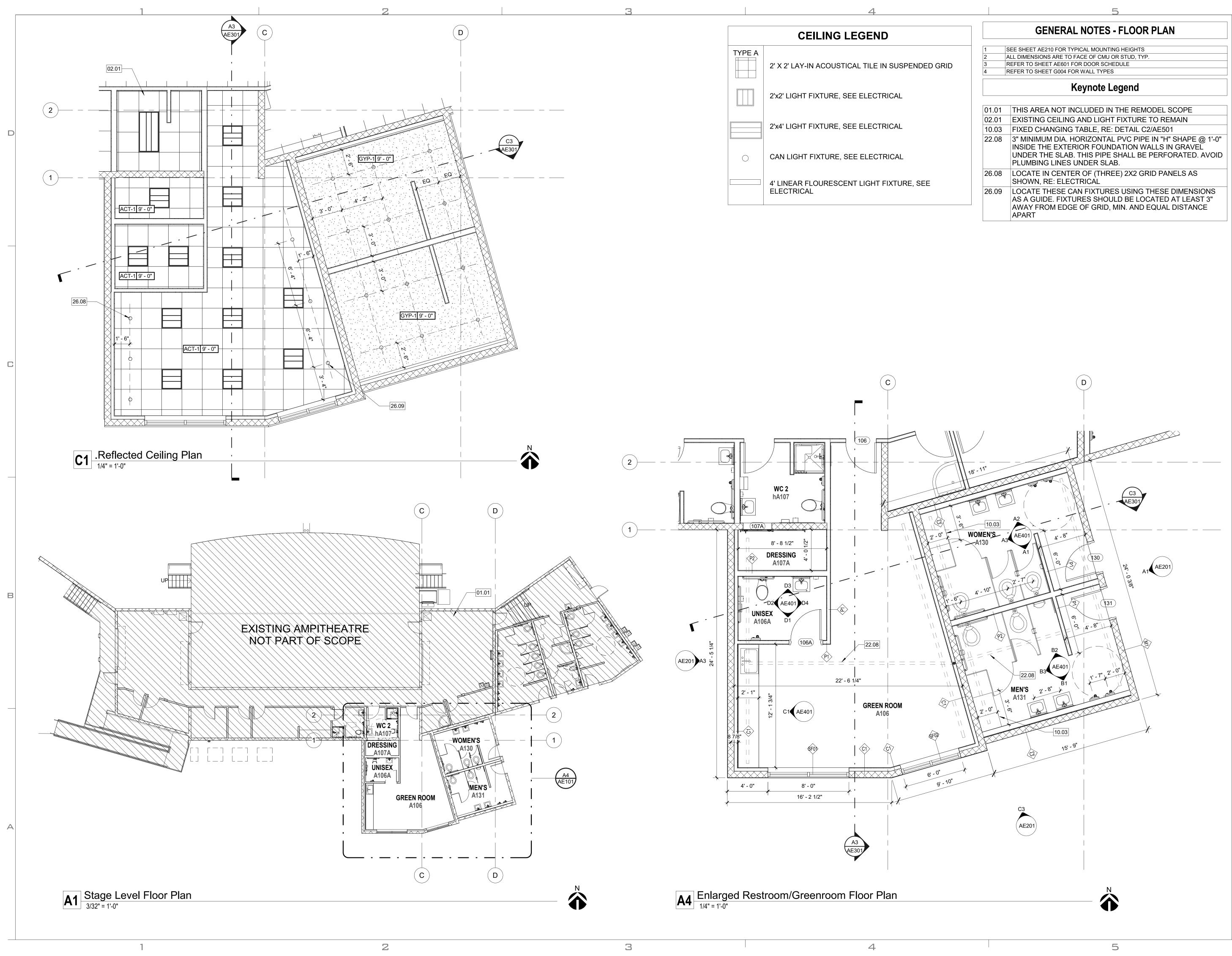
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 Bid Addendum 01

 4-7-20

**title**: Demolition Plan sheet: **AD101** PERMIT SET

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	GENERAL NOTES - FLOOR PLAN		2-10-2020
	SEE SHEET AE210 FOR TYPICAL MOUNTING HEIGHTS ALL DIMENSIONS ARE TO FACE OF CMU OR STUD, TYP.		THE OF COLORIDO
	REFER TO SHEET AE601 FOR DOOR SCHEDULE		KELLY BOYD
4	REFER TO SHEET G004 FOR WALL TYPES		MORGAN *
	Keynote Legend		ARC-401582
01.01	THIS AREA NOT INCLUDED IN THE REMODEL SCOPE		AND AND
02.01	EXISTING CEILING AND LIGHT FIXTURE TO REMAIN		Vella
10.03	FIXED CHANGING TABLE, RE: DETAIL C2/AE501	D	1 V <sup>2</sup>
22.08	3" MINIMUM DIA. HORIZONTAL PVC PIPE IN "H" SHAPE @ 1'-0" INSIDE THE EXTERIOR FOUNDATION WALLS IN GRAVEL UNDER THE SLAB. THIS PIPE SHALL BE PERFORATED. AVOID PLUMBING LINES UNDER SLAB.	D	UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTEN FOR CONSTRUCTION, RECORDING PURPOSES, OR IMPLEMENT,
26.08	LOCATE IN CENTER OF (THREE) 2X2 GRID PANELS AS SHOWN, RE: ELECTRICAL		
26.09	LOCATE THESE CAN FIXTURES USING THESE DIMENSIONS AS A GUIDE. FIXTURES SHOULD BE LOCATED AT LEAST 3" AWAY FROM EDGE OF GRID, MIN. AND EQUAL DISTANCE APART		method studio

consultant: THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATIONS & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALLY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM METHOD STUDIO project: LAS COLONIAS AMPHITHEATER -ADDITION Grand Junction, CO Grand Junction **project**#: 19.0270 **date:** February 10, 2020

phone:(801)532-4422

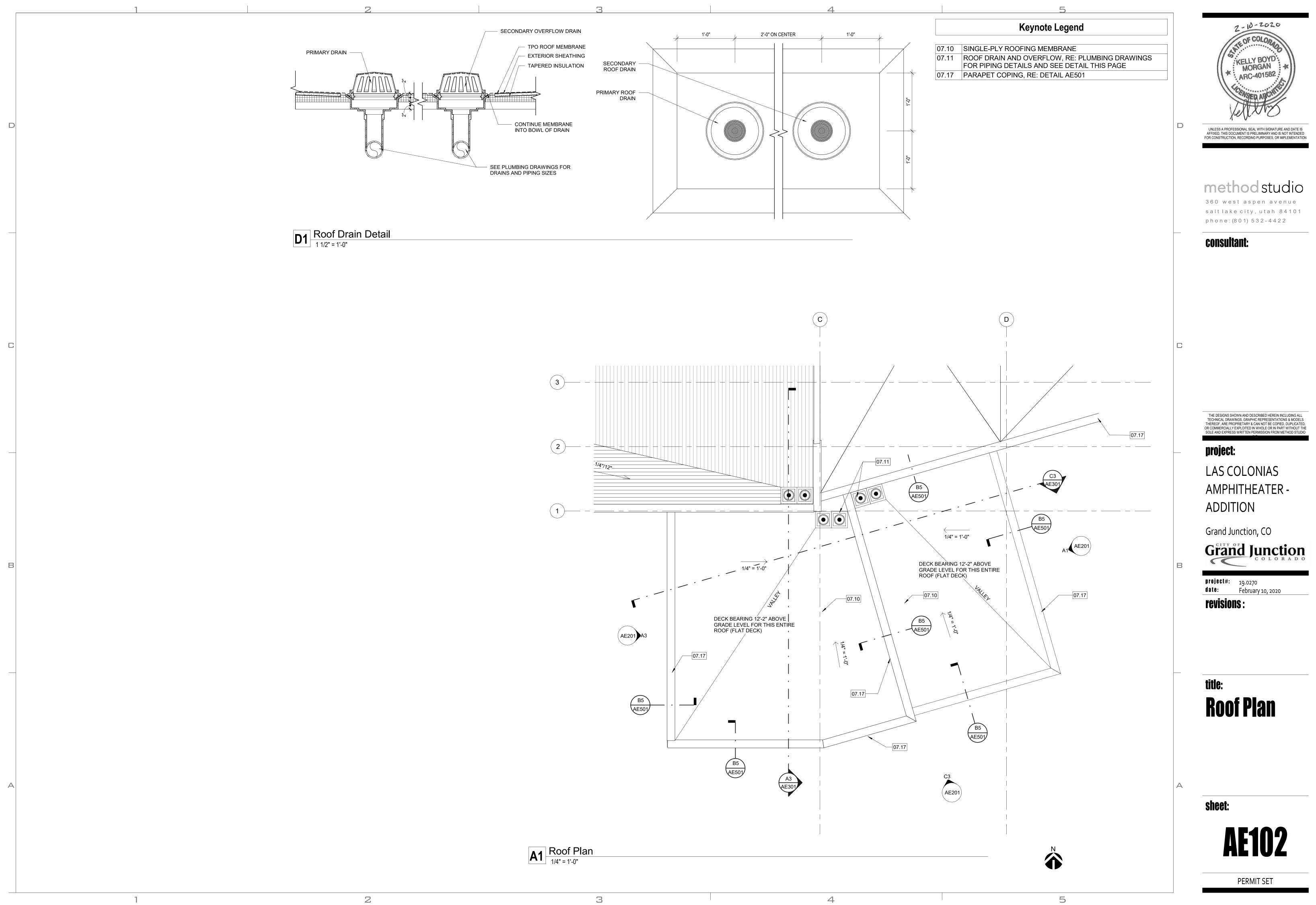
title: **Floor Plan** and Ceiling **Plans** 

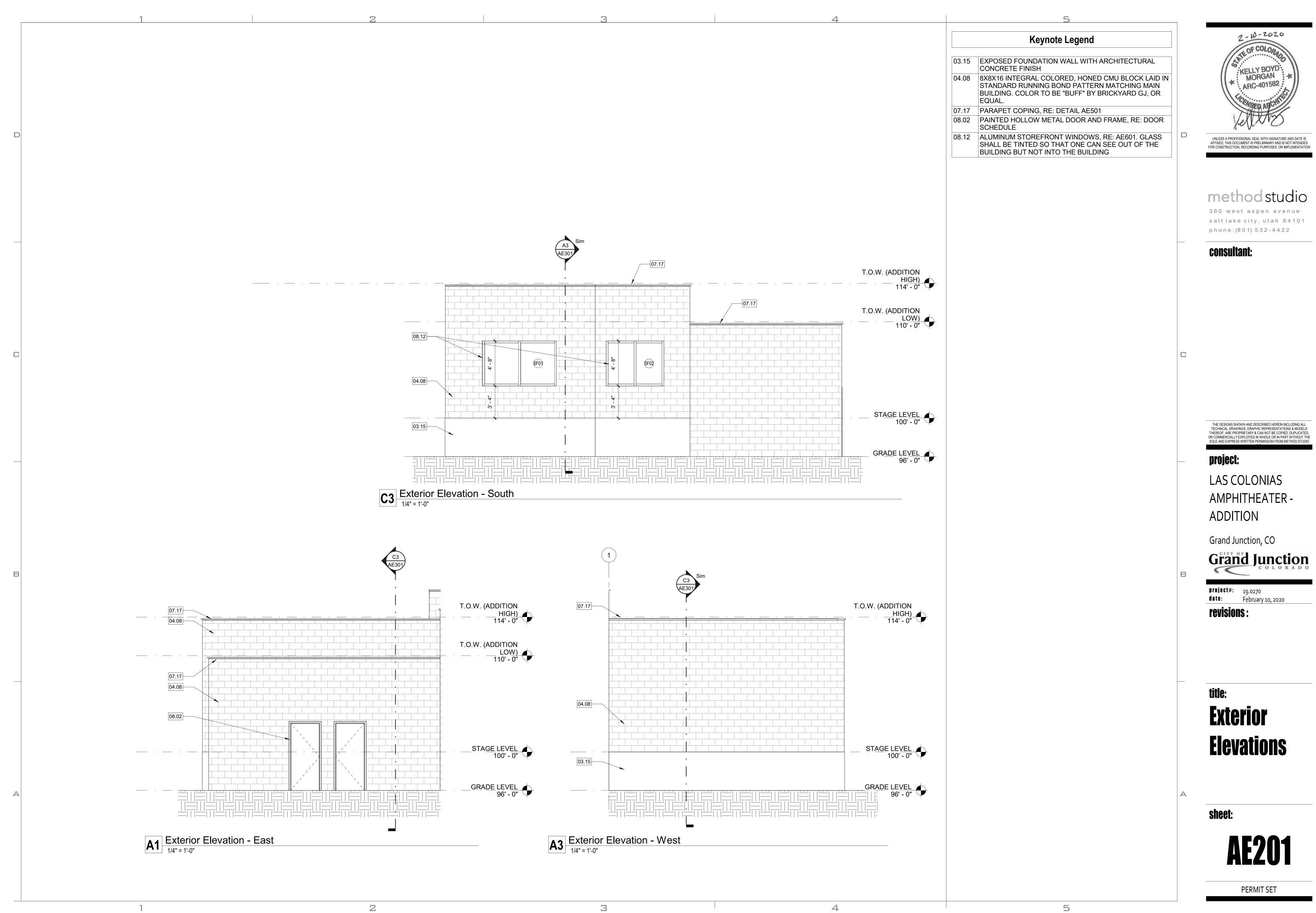
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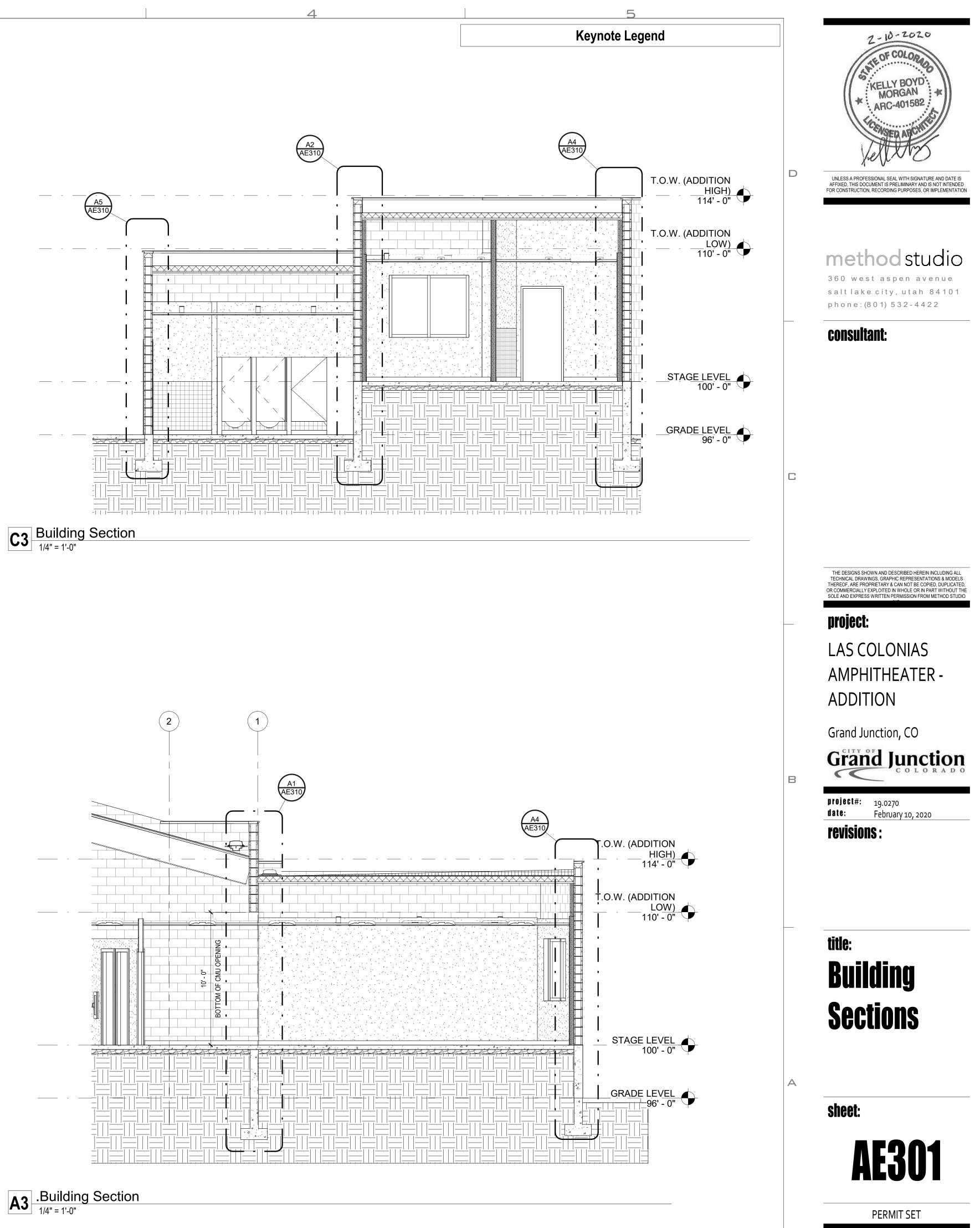
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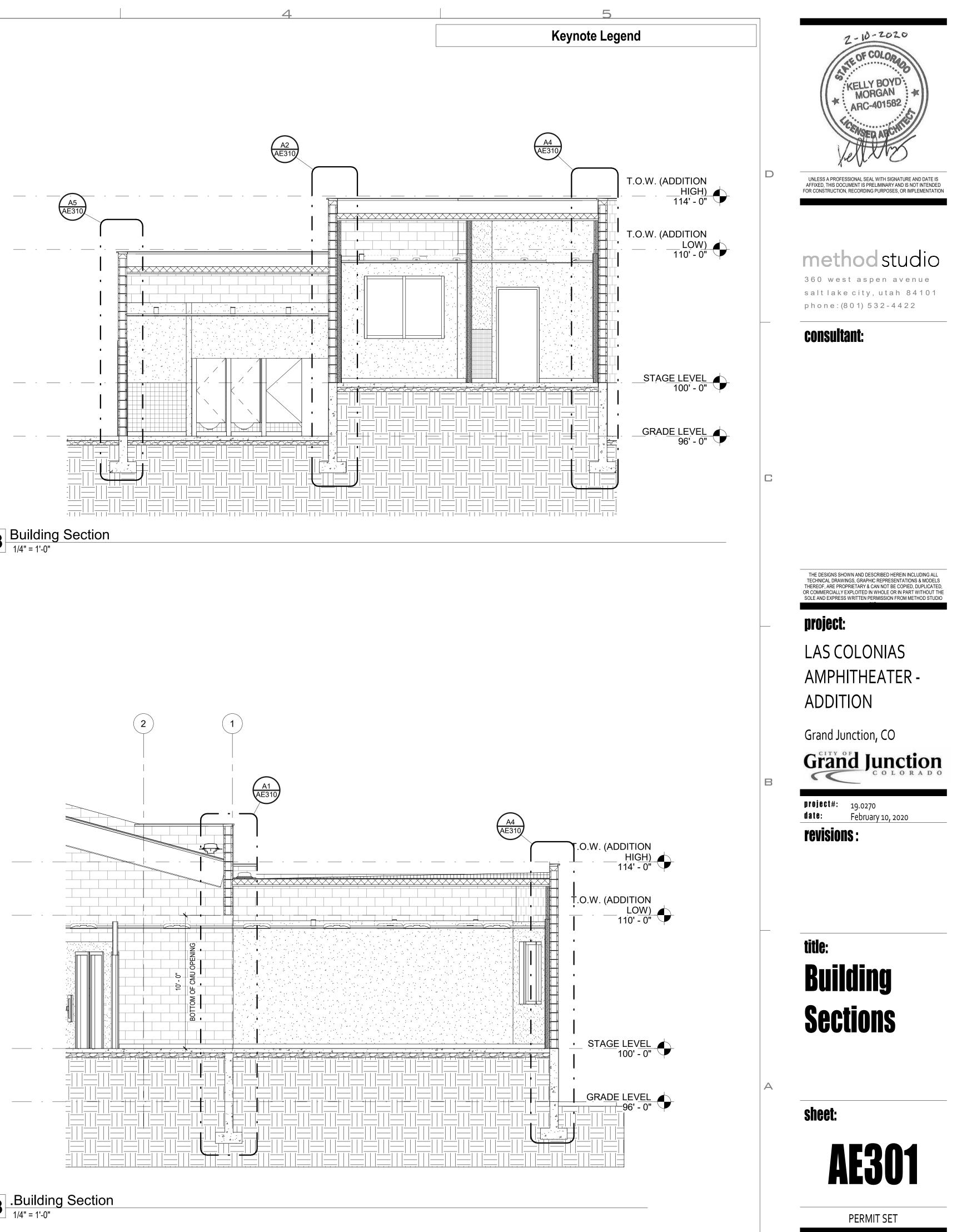




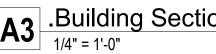
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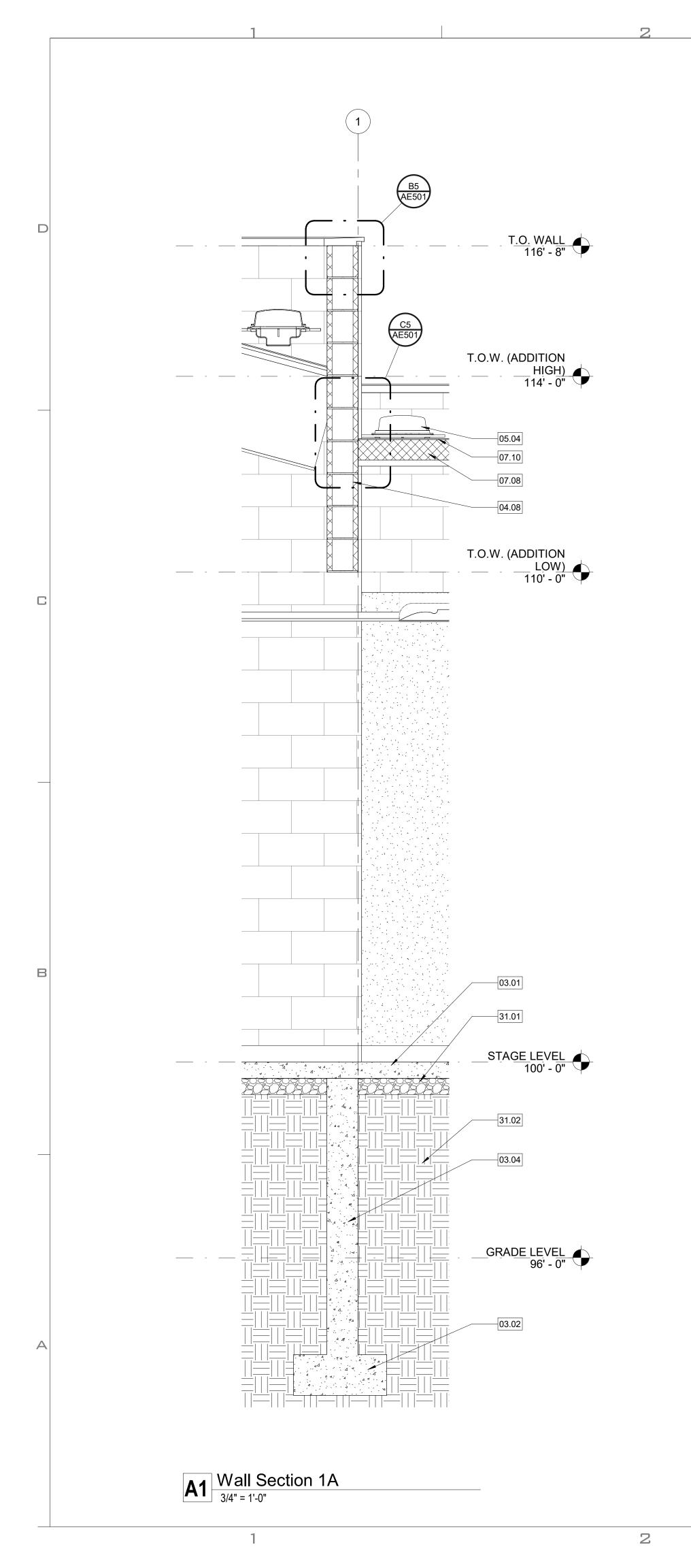


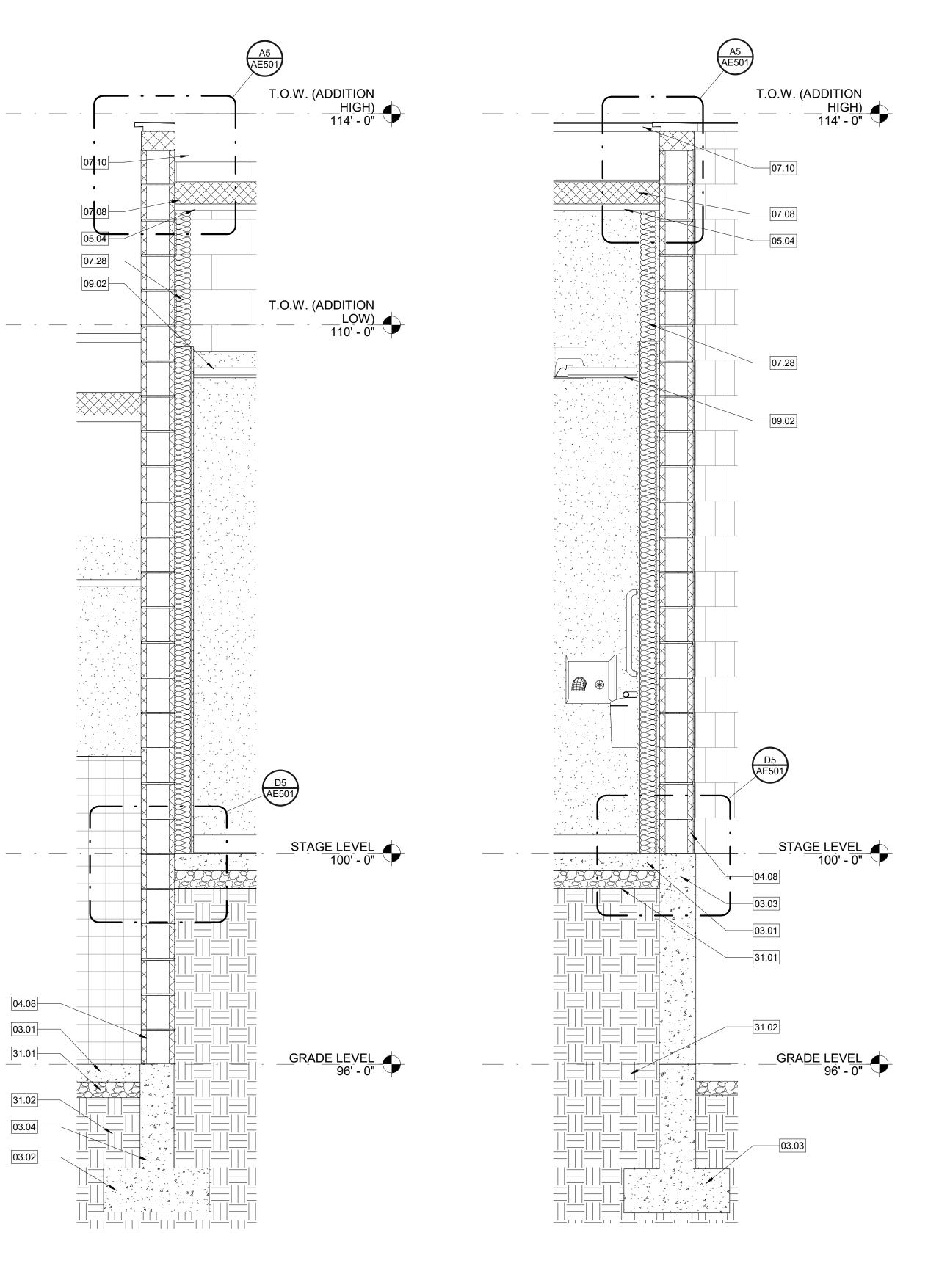
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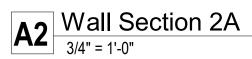


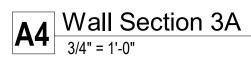
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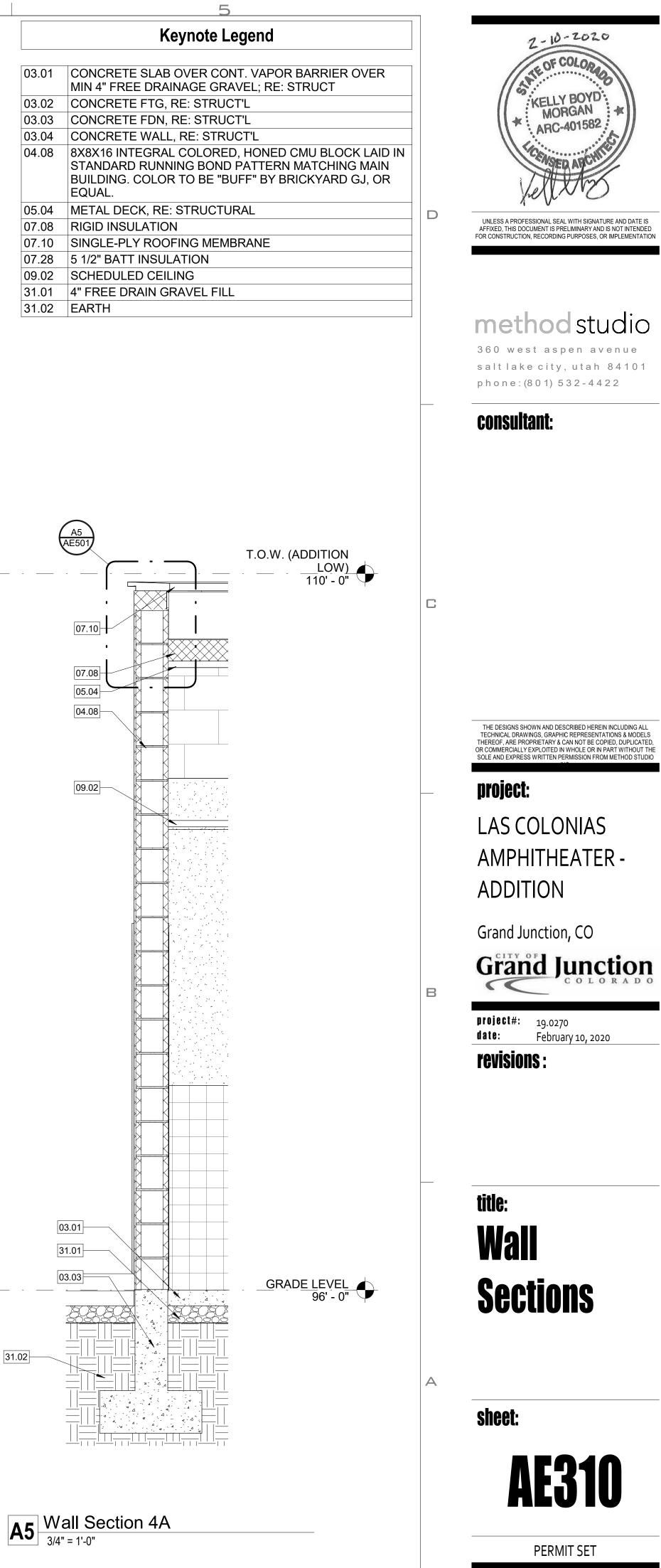


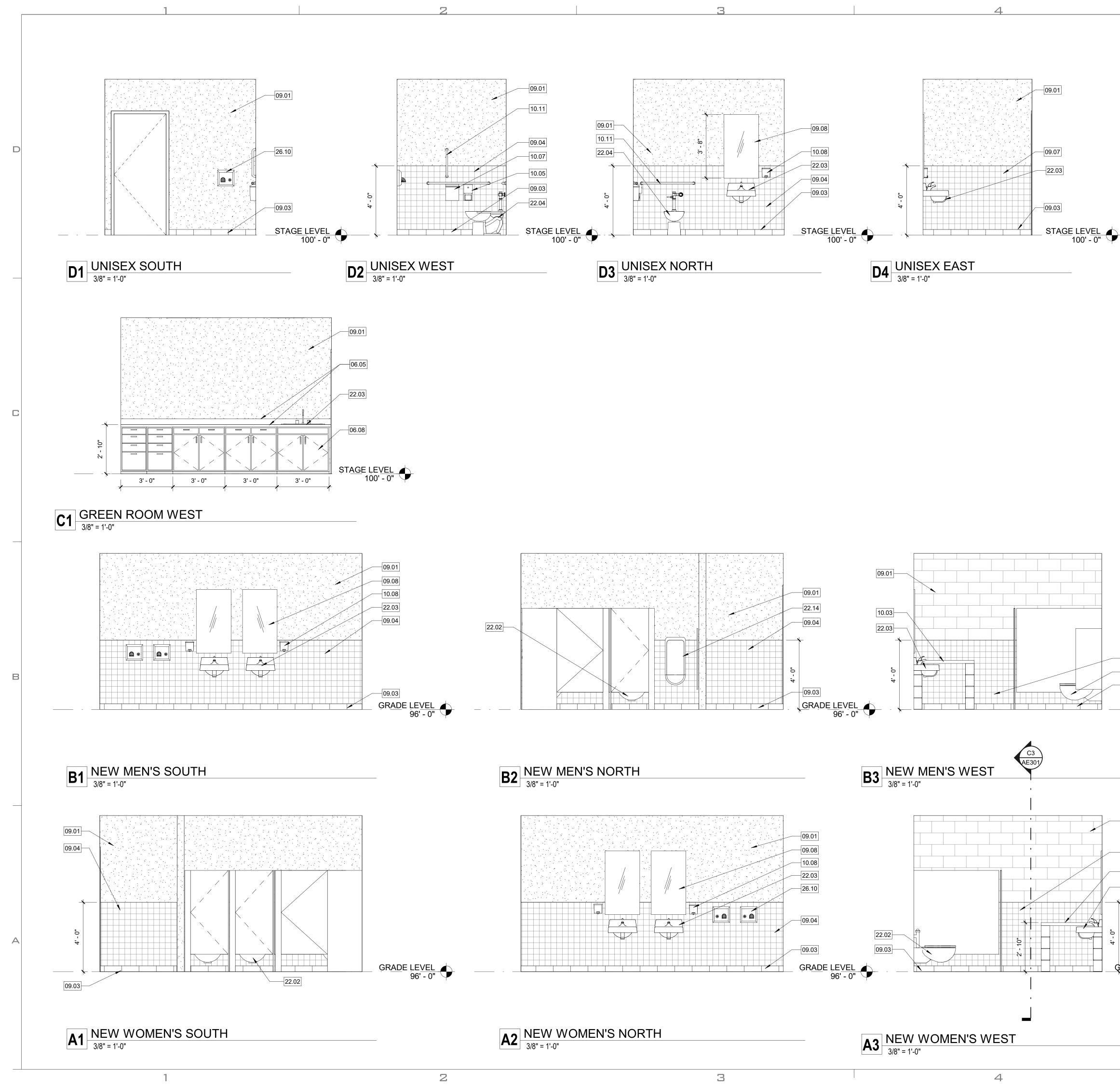


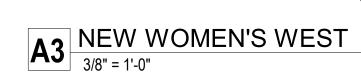




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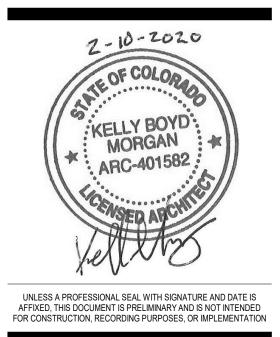


#### **GENERAL NOTES - INTERIOR ELEVATIONS**

1. SEE SHEET G003 FOR STANDARD AND ADA MOUNTING HEIGHTS FOR ALL ACCESSORIES

#### Keynote Legend

06.05	PLASTIC LAMINATE COUNTER TOP AND BACKSPLASH, USE PL-1
06.08	PLASTIC LAMINATE MILLWORK, USE PL-2
09.01	5/8" GYP. BD, PAINTED, RE: FINISH SCHEDULE
09.03	BASE AS SCHEDULED, RE FINISH SCHEDULE
09.04	CERAMIC TILE; RE: FINISH SCHEDULE
09.07	4" x 4" WALL TILE, SEE SPECIFICATIONS
09.08	MIRROR, SEE DETAIL ON SHEET AE501 FOR MIRROR MOUNTED PARTIALLY ON TILE AND PARTIALLY ON GYP BD WALL
10.03	FIXED CHANGING TABLE, RE: DETAIL C2/AE501
10.05	TOILET PAPER DISPENSER, RE: ACCESSORY SPEC
10.07	SANITARY NAPKIN DISPOSAL, RE: ACCESSORY SPEC
10.08	SOAP DISPENSER, RE: ACCESSORY SPEC
10.11	GRAB BAR, RE: TYPICAL MOUNTING HEIGHTS SHEET G00
22.02	TOILET FIXTURE, RE: PLUMBING PLANS
22.03	SINK, RE; PLUMBING PLANS
22.04	ADA HEIGHT TOILET FIXTURE, RE PLUMBING PLANS
22.14	URINALS, TYP. PER PLANS AND SPECIFICATIONS
26.10	OWNER PROVIDED HAND DRYER

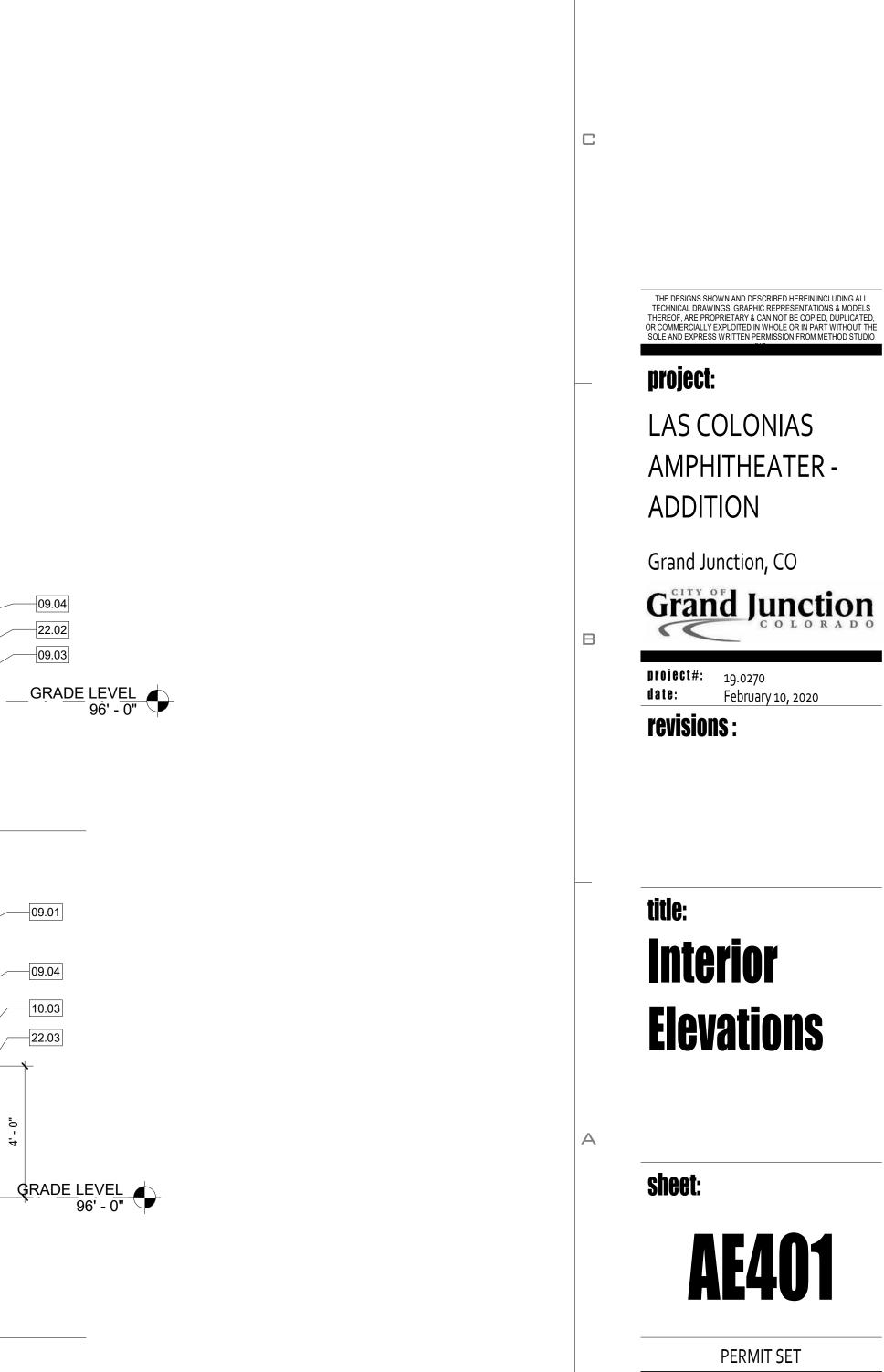


## method studio

360 west aspen avenue saltlake city, utah 84101 phone:(801)532-4422

#### consultant:

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