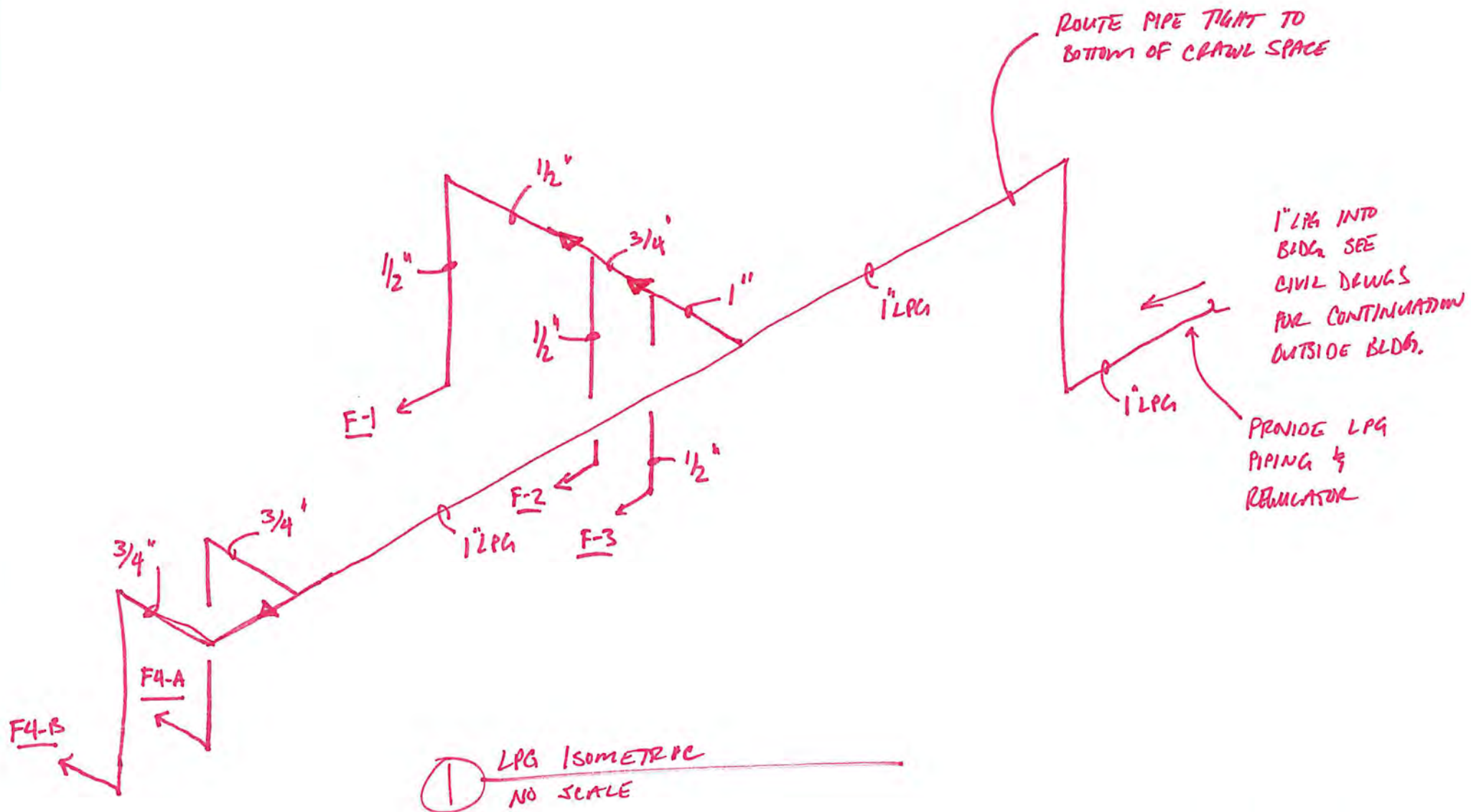


AMENDMENT OF SOLICITATION/MODIFICATION OF CONTRACT				1. CONTRACT ID CODE		PAGE OF PAGES	
						1 2	
2. AMENDMENT/MODIFICATION NO.		3. EFFECTIVE DATE		4. REQUISITION/PURCHASE REQ. NO.		5. PROJECT NO. (If applicable)	
0003		07/21/2020				CURE 187989	
6. ISSUED BY		CODE		7. ADMINISTERED BY (If other than Item 6)		CODE	
NPS, DSC Contracting Services Div 12795 W. Alameda Pkwy P.O. Box 25287 Denver CO 80225-0287		PDS					
8. NAME AND ADDRESS OF CONTRACTOR (No., street, county, State and ZIP Code)				(x) 9A. AMENDMENT OF SOLICITATION NO.			
				140P2020R0048			
				x 9B. DATED (SEE ITEM 11)			
				06/19/2020			
				10A. MODIFICATION OF CONTRACT/ORDER NO.			
				10B. DATED (SEE ITEM 13)			
CODE		FACILITY CODE					
11. THIS ITEM ONLY APPLIES TO AMENDMENTS OF SOLICITATIONS							
<input checked="" type="checkbox"/> The above numbered solicitation is amended as set forth in Item 14. The hour and date specified for receipt of Offers <input checked="" type="checkbox"/> is extended. <input type="checkbox"/> is not extended. Offers must acknowledge receipt of this amendment prior to the hour and date specified in the solicitation or as amended, by one of the following methods: (a) By completing Items 8 and 15, and returning <u>1</u> copies of the amendment; (b) By acknowledging receipt of this amendment on each copy of the offer submitted; or (c) By separate letter or electronic communication which includes a reference to the solicitation and amendment numbers. FAILURE OF YOUR ACKNOWLEDGEMENT TO BE RECEIVED AT THE PLACE DESIGNATED FOR THE RECEIPT OF OFFERS PRIOR TO THE HOUR AND DATE SPECIFIED MAY RESULT IN REJECTION OF YOUR OFFER. If by virtue of this amendment you desire to change an offer already submitted, such change may be made by letter or electronic communication, provided each letter or electronic communication makes reference to the solicitation and this amendment, and is received prior to the opening hour and date specified.							
12. ACCOUNTING AND APPROPRIATION DATA (If required)							
13. THIS ITEM ONLY APPLIES TO MODIFICATION OF CONTRACTS/ORDERS. IT MODIFIES THE CONTRACT/ORDER NO. AS DESCRIBED IN ITEM 14.							
CHECK ONE	A. THIS CHANGE ORDER IS ISSUED PURSUANT TO: (Specify authority) THE CHANGES SET FORTH IN ITEM 14 ARE MADE IN THE CONTRACT ORDER NO. IN ITEM 10A.						
	B. THE ABOVE NUMBERED CONTRACT/ORDER IS MODIFIED TO REFLECT THE ADMINISTRATIVE CHANGES (such as changes in paying office, appropriation data, etc.) SET FORTH IN ITEM 14, PURSUANT TO THE AUTHORITY OF FAR 43.103(b).						
	C. THIS SUPPLEMENTAL AGREEMENT IS ENTERED INTO PURSUANT TO AUTHORITY OF:						
	D. OTHER (Specify type of modification and authority)						
E. IMPORTANT: Contractor <input type="checkbox"/> is not <input type="checkbox"/> is required to sign this document and return _____ copies to the issuing office.							
14. DESCRIPTION OF AMENDMENT/MODIFICATION (Organized by UCF section headings, including solicitation/contract subject matter where feasible.)							
Rehabilitate Elk Creek Visitor Center (CURE 187989)							
The purpose of Amendment 0003 to solicitation 140P2020R0048 is to do the following:							
1. Provide Questions and Answers. Attachment titled "0003-Q and A Rehabilitate Elk Creek Visitor Center.docx," dated July 21, 2020, is hereby incorporated and made a part of this solicitation.							
2. Proposal due date is extended from July 23, 2020 at 2:00 PM, MT, to July 27, 2020 at 2:00 PM, MT.							
3. All other terms and conditions governing this solicitation remain in full force and							
Continued ...							
Except as provided herein, all terms and conditions of the document referenced in Item 9 A or 10A, as heretofore changed, remains unchanged and in full force and effect.							
15A. NAME AND TITLE OF SIGNER (Type or print)				16A. NAME AND TITLE OF CONTRACTING OFFICER (Type or print)			
				Bai Perney			
15B. CONTRACTOR/OFFEROR		15C. DATE SIGNED		16B. UNITED STATES OF AMERICA		16C. DATE SIGNED	
_____ (Signature of person authorized to sign)				_____ (Signature of Contracting Officer)			

NAME OF OFFEROR OR CONTRACTOR

ITEM NO. (A)	SUPPLIES/SERVICES (B)	QUANTITY (C)	UNIT (D)	UNIT PRICE (E)	AMOUNT (F)
	effect.				



ELK CREEK V.C.
CURECANTI NAT. REC. AREA
7/16/2020
By: DMD

PROPOSED EQUALS

In accordance with Provision 52.211-06 (Section L), the following products are being proposed as equals. Provide all attachments required by the provision, as applicable. Use additional sheets of paper as necessary.

Section No.	Paragraph No.	Product/Model No.	Proposed Product/Model No.

- A. By submitting the proposed equal, the contractor certifies that it:
1. Has investigated the proposed item and determined that it is equal or superior in all respects to that specified.
 2. Will provide, as a minimum, the same warranties for the proposed item as for the item specified.
 3. Has determined that the proposed item is compatible with interfacing items.
 4. Will coordinate the installation of an approved item and make all changes required in other elements of the work because of the substitution.
 5. Waives all claims for additional expenses that may be incurred as a result of the substitution.
- B. The Contractor is encouraged to submit for approval products that exceed accessibility standards, are sustainable and/or made from recycled or environmentally responsible material. Every effort will be made to approve these materials.

Q1: The Bid Bond SF24 required for the Bid proposal is for % or dollar amount ?

A1: Please see FAR 52.228-1 PROPOSAL GUARANTEE (SEP 1966) page 169 of 175. The amount of the proposal guarantee shall be 20 percent of the total proposal price or \$3,000,000, whichever is less.

Q2: Winter conditions can vary significantly from year to year and the amount of winter protection required for soils, concrete and temporary heating of the building can vary significantly from year to year. How should contractors bid winter protection and temporary heating? For apples to apples bidding purposes would you consider having all bidders put a set allowance amount in the bid for this portion of the work? If an allowance is to be included in what amount?

A2: Allowance (or contingency) is not allowed. This is a firm fixed price contract. Winter condition is based on the average condition for the season. Offerors are to bid according to the weather condition for the season and planned construction schedule. If the weather is "abnormal" from average condition for that season, then the Government will work with the contractor and modify accordingly.

Q3: Would you like us to include a copy of the WOSB and EDWOSB in the offeror's response?

A3: No. If registered, WOSB and EDWOSB information will be tied to your SAM.

Q4: In reviewing the solicitation documents on beta.sam, we have not located the "Proposed Equal" form required in Volume 1 of the offeror's response. Can you please tell us which solicitation/attachment the form is in?

A4: Proposed Equal form is attached.

Q5: Davis Bacon wage rate document submitted with the solicitation does not show or mention a wage rate for the elevator labor that will take place – does this scope of work not qualify for a DB wage rate? Please advise.

A5: Per the wage determination "Unlisted classifications needed for work not included within the scope of the classifications listed may be added after award only as provided in the labor standards contract clauses (29CFR 5.5 (a) (1) (ii))." Any class of laborers which is not listed in the wage determination and which is to be employed under the contract shall be classified in conformance with the wage determination. The contracting officer shall approve an additional classification and wage rate and fringe benefits therefore only when the following criteria have been met:

- (1) The work to be performed by the classification requested is not performed by a classification in the wage determination; and
- (2) The classification is utilized in the area by the construction industry; and
- (3) The proposed wage rate, including any bona fide fringe benefits, bears a reasonable relationship to the wage rates contained in the wage determination.

Q6: Note D37 Remove carpet/plywood from bottom of columns – clean concrete base – Plans note four locations but there is two other columns to the left of the closet and closet wall in room 108 and next to the Mech/Elec room. Please advise if we are to include this column also?

A6: Keynote D37 applies to all columns currently enclosed on the ground floor. This includes the two columns in question (remove carpet at base) and one embedded in the restroom wall.

Q7: Sheet AD1.0 General Note #14 Remove Vapor Retarder throughout Ground Level – please specify what the existing vapor retarder is?

A87: The existing vapor barrier, as observed in the access hole provided in the Multi-Purpose room floor northeast side near the exit door, appears to be a 6mil poly type of product.

Q8: Sheet AD1.0 General Note #14 – Remove raised floor is there more raised flooring to be removed than what is called out on the same sheet Keynote #D7? If so please specify these areas.

A8: The entire existing Multi-Purpose room, Break Room, etc., has a raised floor, presumably constructed in the 1980's when the ground level was enclosed. Access holes were opened near the northeast corner and revealed carpet over plywood over a poly vapor barrier over 2x furring with rigid insulation infill on original concrete slab. Full extents are unknown, but assumption is entire ground level is raised (not including the existing mechanical rooms, or existing water entry room as those areas are currently raised approximately 4" above the FFE of the existing Multi-Purpose Room).

Q9: Sheet AD1.0 the two ground floor restrooms it would appear that the concrete floor is to be demo'd for Plumbing possibly? There is no note dictating this assumption – please advise.

A9: Correct – the angled cross hatch indicates areas of concrete to be removed at the Ground Level. The legend indicates to refer to keynote D17 (for removal of concrete at the elevator shaft), however, keynotes D42 and D43 also apply for removal of concrete for plumbing/sanitary routing and electrical for floor box outlets.

Q10: Sheet AD1.0 General Note #3. Remove all existing interior GWB at all walls and ceilings UON (New GWB to be installed at all interior walls typical). The key notes do not ask for the walls to have the GWB removed other than walls that are being removed. And Sheet AD1.1 does not reference any GWB being removed from walls but it did note what ceilings were to have GWB removed.

A10: The general note on AD1.0 (#3) and on AD1.2 (#4) reads "Remove all existing interior GWB at walls and ceilings UON (new GWB to be installed at all interior walls, typ." Sheet AD1.1 is a reflected ceiling plan so only covers the removal of GWB at the ceiling. The general notes shall be relied upon for treatment of the existing walls (as indicated in the note).

Q10a. Please advise if all the interior walls on the GF will have the GWB removed?

A10a. Yes – refer to general note #3 on AD1.0

Q10b. Please advise if all the interior walls on the MF will have the GWB removed?

A10b. Yes – refer to general note #4 on AD1.2

Q11: Please advise if there is any T&G ceiling work to be done on the GF – General note #5 on sheet AD1.1 is suggesting that there is.

A11: All T&G ceiling work is located at the MF and underside of high roof. No T&G work at the GF.

Q12: Will the owner handle/supply the handheld radio system for the project?

A11: Yes, owner will handle and supply the handheld radio system for the project after construction completion.

Q13: Who is supplying the audio/visual equipment? If contractor, please advise on size and brand?

A13: Yes, owner will supply the audio/visual equipment for the project after construction completion. Contractor to provide all hook-ups in advance. Provide new speakers and tie all wiring (in ridged EMT Conduit) back to existing amplifier, to be housed in new AV rack. Speaker selection shall be coordinated with contracting officer and match the overall architectural vision for the space/architectural ceiling elements. It's the intent for these speakers to provide basic audio coverage for visitors watching video content on the wall television. Provide new wall mounted AV rack. This was an open spec item; the owner would likely need a 19" swing out cabinet/rack, with no more than 16ru of hardware space. AE Design recommends Middle Atlantic CWR Series or similar. CPI CubeIT is also acceptable. All work to be coordinated with contracting officer.

Q14: Does the owner want volume controls for the speaker system?

A14: Yes, there should be all wall mounted solution to control overall audio levels within the room. Wireless control will not be required; only physical.

Q15: Does the owner want the HDMI input system to be automatic verses manual switching of cables?

A15: This input plate was added at the request of the owner. It was their desire to connect a DVD or Computer to the wall and be able to switch HDMI content from what is currently being displayed on the TV to what they are trying to display from an external source. Ultimately, they did not want a situation where they will need to directly connect devices to the television and have cabling dangling from the TV. It's not anticipated for there to be multiple devices simultaneously connected to the wall plate. If there are other devices streaming content to the TV, they will likely be installed in the AV rack

Q16: Sheet P0.3 Plumbing ISOMETRICS does not show the gas line layout or sizing – will the Mech engineer be submitting a gas line isometrics sheet? With 5 furnaces going in and all existing gas lines coming out this would be the normal process, please advise.

A16: Please refer to the separately attached LPG isometric sketch titled "Q16 – Gas Piping Isometric Sketch". Also, please refer to sheet M2.0 and detail 3 which shows the gas piping in plan view.

Q17: Please advise if the owner will handle/supply the Data/IT and Audio systems for this project?

A17: The NPS will handle/supply any new active equipment. Contractor to procure passive components such as category cabling, jacks, patch panels and the wall rack in the basement room (noted as new on plans). Some existing analog data/phone equipment is located where the new rack is to be located. Since this is no longer used. This is to be decommissioned and turned over to the contracting officer/park; all aspects shall be coordinated with contracting officer.

There is also existing analog phone gateway equipment on the table of this room. This is currently active and in use. It was the park's wish to relocate this hardware to the new IT rack on the wall, in order to get it off of the table. The relocation of this hardware shall be coordinated with the contracting officer.

Q18: What is the name of the electrical power/supply company for the project?

A18: Gunnison County Electric Association

Q19: Sheet A1.3 Key note C3 Clean & Refinish existing T&G ceiling, Inclusive of Glulam framing at upper level ceiling – note C3 is noted in most rooms but the finish schedule for the some rooms (example room 208) calls for an acoustic type ceiling not TG ceiling– please clarify what rooms will actually need the T&G ceiling work done and what rooms will have ACT ceilings and GWB ceilings.

A19: The RCP on sheet A1.3 correctly depicts the ceiling finish in the office area. Room 210 receives an ACT ceiling. A portion of room 210 and 208 receive a framed gypsum ceiling (soffit) above the millwork. The references to ACT ceiling on the finish schedule (**except in Room 210**) are incorrect (should read OTS)

Q20: Sheet L2.5 Notes #1 Refer to sheet L2.0 for Herbivory protection fencing plan – there is no sheet L2.0 in the plan file – Please advise.

A20: Refer to L1.11 Planting Plan, herbivory protection fence to be installed to protect all new vegetation. Location of fencing to be field approved by the C.O.

Q21: For the main front desk the plans are calling out for 1x3 T&G Cladding to be installed/applied directly to the bullet resistant fiberglass panels Sect 5 of A4.6 – there is no detail or note showing how this application is to be installed? Please advise. A detail for this scope of work should be presented.

A21: The intent is for method of attachment to be concealed (blind fastened). Shop drawings are a required submittal – contractor is free to suggest best method of attachment for concealed look and include in the shop drawings.

Q22: Observation/ramp decking/sheathing – what thickness is being called out – cannot find a detail or note in plans?

A22: Refer to project specifications: Section 06 10 00, 2.4, C, 2. The thickness of the new plywood shall match existing.

Q23: RFI: Security and Fire

Q23a. The plans for this project call out for the reinstallation of the existing Honeywell security panel. This panel was installed in 1997 and is not worth the reinstall, plus the new keypads shown on the plans would not be compatible with this system. Recommendation is an upgrade. How should I price this?

A23a. If possible, reuse any existing components where possible to save on cost, but if it makes more sense to replace existing equipment because of performance, cost, or difficulty in reusing older components, it is recommended to price all as new.

Q23b. The plans E1.0 and E1.2 show a symbol "GP" and on the legend it's called a (Glass Position Switch) Unclear what this is? Maybe window contact? Please clarify.

A22b. Window contact sensor, correct.

Q23c. Fire Alarm system shows no notification devices on the plan. Code would require strobes in the restrooms and Horn-strobes throughout and 1 exterior. Is this system a design build to meet code? Or should I just price it how it is shown?

A23c. The IBC/IFC Section 907.2 does not require a fire alarm system for this occupancy based on classification and occupant load. Price the fire alarm system as shown on the documents per the project specifications.

Q24: General Note #13 on sheet AD1.2 Remove plywood sheathing with elastomeric coating over entire observation deck and ramp for replacement with ACX Plywood and PMMA waterproofing. There was no key note for this work to be completed – are we to complete this scope of work? Sheet A1.2 Key Note N13 calls out the replacement of this scope of work.

A24: Yes – the general notes shall be followed. (The replacement of the existing sheathing and surface wear/waterproofing layer at the deck is common to the project, thus the use of a general note.) Keynote N13 on A1.2 is a specific callout pertaining to the drainage crickets shown. General note #15 on A1.2 pertains to the overall scope of deck surface and underlayment replacement required.

Q25: Raised floor detail for the GF level – need to know what size/type of materials and spacing.

Q25: Please see response to Q33.

Q26: The scale on most pages does not match the dimensions on the drawings – please submit or call out the actual building exterior measurements – there is much discrepancy to confirm the actual dimensions.

Q26a. Sheet G0.8 is one sheet where the building and ramp do not scale – see attached with approx. dimensions.

A26a. Sheet G0.8 should not be used to scale anything related to the building.

Q26b. Structural sheet S1.0 has the north wall at 66'03" approx. for a building width GF Foundation – sheet A2.0 scales out at 65' 4" on the same level approx.

A26b. Please refer to sheet S1.0, S1.2 and S1.4 for overall dimensions. Sheet A2.0 are exterior elevations.

Q27: Sheet A9.5 Section 5 ramp wall – one note is asking for the wall cap to be remove/refinish the cap – the demo notes say to scrape/sand and refinish.

A27: The design intent is that the wood cap needs to be scraped, sanded, and refinished. For constructability of the new wall mounted handrail, we have assumed the cap will be at least partially removed to install blocking where necessary but ultimately is a contractor means and methods question.

Q28: Please confirm if the wall cap is to be removed – and reinstalled?

A28: See response to Q27.

Q29: Please confirm if the WD siding on interior walls of the ramp and observation deck rail wall is to be removed and reinstalled also?

A29: Refinishing of the interior wood siding (scrape, sand, stain) is the intent, and this can be done in-situ where reasonably possible. However, some of the existing wood siding has deteriorated and requires replacement, other locations may require partial removal for installation of the new handrail at the ramp.

Q30: Sheet A1.5/Keynote N40 indicates new Pultruded Grating at existing openings. There is no specification for what type of pultruded decking should be used. Please advise what type of pultruded decking should be installed.

A30: Refer to specification section 06 83 16 – Fiberglass Reinforced Paneling and Fabrications.

Q31: Sheet A1.0 General note #4 new insulation/GWB/paint at all exterior walls and Keynote #42 ask for the same scope work but the key note is only located at rooms 102,103,106,107? Please advise if we are to follow Key Note 42 or the general note?

A31: The general note instructs to insulate all exterior walls UON. Keynote 42 locates other walls (not exterior) that also require mineral wool insulation (the walls noted in the question are existing). Also – please refer to the wall types for further information on the location of mineral wool insulation at interior walls.

Q32: Sheet A1.0 general note #17 install raised floor system on entire GF – there is not Keynote calling this work out? Just wanted to confirm that this work will be completed in the Restrooms, mechanical rooms, water entry and storage rooms? Please advise.

A32: See response to Q7.

Q33: Ground Floor raised floor – general note 17 on sheet A1.0 – we are unable to find any detail or specifications for scope of work.

A33: The intent is to match the existing assembly.

Q33a. Please specify the vapor barrier type?

A33a. The vapor barrier shall match the existing – 10 mil polyethylene should be assumed.

Q33b. Are we to assume the 1x sleepers are 1x4 and are placed on 16" OC and that these would can be shot into the existing slab with a Hilti type fastener?

A33b. Match existing – assume 1x4 sleepers @ 16" OC with shot pins @ 12" staggered to slab (1" min. embed) until field verified.

Q33c. Can we attach the ¾ T&G Plywood to sleepers with nails and glue? Or will screws be required?

A33c. Match existing – assume ¾" plywood glued to sleepers and fastened with 1-1/4" screws at 6" until field verified.

Q34: Is there a specified stair manufacture?

A34: The stair specifications are included via components included in a variety of specification sections. Refer to "Finish Carpentry" for wood elements, "Pipe and Tube Railings" for the guard/handrail. Regarding a specific manufacturer – "Viewrail" was used as the basis of design. (www.viewrail.com)

Q35: There is a conflict with the stair construction – Sheet A3.1 sections 5,6 call for a center steel tubing support with a powder coat finish. And sheet A1.0 N8 calls for a single glulam center stringer? Please advise on what assembly to use.

A35: Powder coated steel center support is correct.

Q36: The structural drawings call for the steel tubing for the stairs to be primed? How does the owner want the stair structure finished?

A36: The steel shall be powder coated.

Q37: Proposed Stanley QDC100 substitution in Door Hardware 08 71 00 – Door hardware/Door Closers. Is this product acceptable? See attachment.

A37: Yes.

Q38: Specification section 06 10 00/2.4/C/1-7- Exterior Plywood Sheathing: ACX Plywood.

- a. Lumber suppliers have done research on the specification sections for the ACX plywood. There are no lumber mills that have a product that meet this specification, specifically item 5 exposure time and item 7 lifetime limited warranty.
- b. Please provide a specific ACX plywood manufacturer who can meet these specifications. If a specific ACX plywood manufacturer cannot be specified, can items 5 and 7 be omitted from the specifications?
- c. Another option for the plywood maybe marine grade, but that does not come in T&G.

A38: The sheathing requirements at the observation deck and ramp are direct from the Basis of Design PMMA coating manufacturer (Siplast Terapro). The substrate (ACX plywood) must be installed in strict accordance with the requirements of specification section 07 18 13 – “Liquid Applied Pedestrian Traffic Waterproofing.” Items 5 & 7 from section 06 10 00 can likely be modified/omitted – but the contractor shall confirm that the proposed plywood underlayment meets the performance criteria and warranty requirements for the PMMA coating.

Q39: What are the QC testing requirements and frequencies for the aggregates, asphalt, masonry and concrete on this project?

A39: Aggregate – structural concrete aggregate properties are in sheet S.0.2 Structural General Notes. Aggregate to be submitted with product data per 03 30 00 1.4 A

Asphalt aggregates meet requirements of 32 12 16 section 2.1, meeting requirements of CDOT specifications

Asphalt – 32 12 16 section 1.6C identifies testing per CDOT requirements. Section 3.11 identifies additional testing (e.g., thickness, surface smoothness, in-place density, content and gradation). See section 3.11 for testing requirements and frequencies for asphalt.

Concrete – 03 00 00 (Cast in Place Concrete) contains section 3.9 (Field Quality Control)

Masonry – 04 20 00 (Unit Masonry) section 1.5 (Quality Assurance) states to comply with TMS 402/602. Although TMS 402/602 contains testing criteria, per the Structural Test & Inspections Form, verification of f'm is not required whereas special inspection of masonry installation is required.

Q40: Sheet S5.1 Detail 5 calls for removal of bed rock. Is this the same bedrock that is included in the alternate bid item or additional bedrock that needs to come out regardless of bid item number three? If it has to come out regardless to accommodate the new slab how many cubic yards are anticipated to need to come out?

A40: Yes, this is the area adjacent to the future water entry room (112) discussed in contract line item 3.

Q41: Sheet S1.0 has a note to VIF that FTG bears at frost depth or directly on bedrock. If it doesn't underpin with a footer stem wall assembly. If this work is required will it be performed as a change order or should contractors assume that this work will need to be performed and include in the bid?

A41: Yes, base bid should reflect the requirement to verify FTG bearing or provide via underpinning.

Q42: How thick is the existing slab at the ground floor level?

A42: Foundation plan of original construction drawings RA-CUR-3023-C sheet 10 of 22 indicates a 4" concrete slab.

Q43: Sheet S1.0 says to survey existing wood posts for decay. Remove and Replace in kind. How many posts should we anticipate replacing?

A43: Park staff have observed that existing posts are solid. However, there is no record of replacement by the NPS. Posts could be all original to the ramp. It is unknown if any have been replaced since construction. Park staff have confirmed that no replacements occurred in the past 10 years. The contractor will have to evaluate condition and replace as needed per the requirement.

Q44: Sheet AD1.0 keynote D-39 calls for removing the pad under the existing CMU enclosure. What are the dimensions of the pad that needs to be removed?

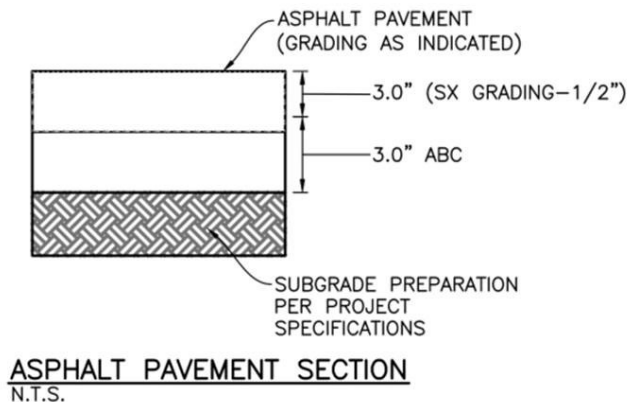
A44: Keynote D39 coincides with keynote D35 (D39 is not shown in the correct location on the demo plan).

Q45: Sheet A6.2 Door and window schedule door number 126 calls for a type Z door with no other information. I don't see it on the plans? Please clarify where this door goes?

A45: Please omit door 126 as it is an erroneous reference in the door schedule.

Q46: Sheet C4.0 calls for 4" of Asphalt paving and Sheet C6.1 calls for 6" of asphalt paving. What is the thickness of the asphalt paving?

A46: Detail on C6.1 showing 3" of asphalt over 3" aggregate base course is correct.



Q47: Section 01 35 13.22 (3.3) "Discovery of Resources" calls for the contractor to relocate work to a non-sensitive area where monitoring is not normally required if resources are discovered. Considering the limited size of the work area this may not be feasible. If contractor has to stop work for an extended period of time will they be paid for additional remobilization fees?

A47: This type of situation could be handled in accordance with 01 25 01 (Contract Modification Procedures).

Q48: Spec Section 01 35 91/1.4/A- Historic Preservation Treatment Specialist Qualifications. Are we going to be required to hire a qualified firm and if so can you furnish a list of firms that we can hire?

A48: If the general contractor does not have experience with renovations/construction of historic structures or a specialist on staff, obtain a qualified subcontractor. A list of qualified firms cannot be provided due to fair competition.

Q49: Sheet A1.3 Note C3 Clean and Refinish existing T&G Ceilings/inclusive of glulam framing at upper level ceiling. No sanding or scraping is required per this note? Just clean the ceiling from dust/debris and refinish?

A49: "Refinish" refers to sanding, scraping (where needed) and staining. (Please refer to question #13 from the first round of bidder questions.) A lighter sand can be anticipated at the interior ceiling (indicated by keynote C3) as the existing condition is much better than at exterior locations.

Q50: 01 50 00/1.3/B/1- If the contractor installs a meter on the water line can we pay for construction water or does the contractor need to have a separate water source on-site or can we use the existing water service?

A50: Water from the park's potable system cannot be used for construction. Even with metering, this would not be acceptable due to supply concerns and potential for cross-contamination.