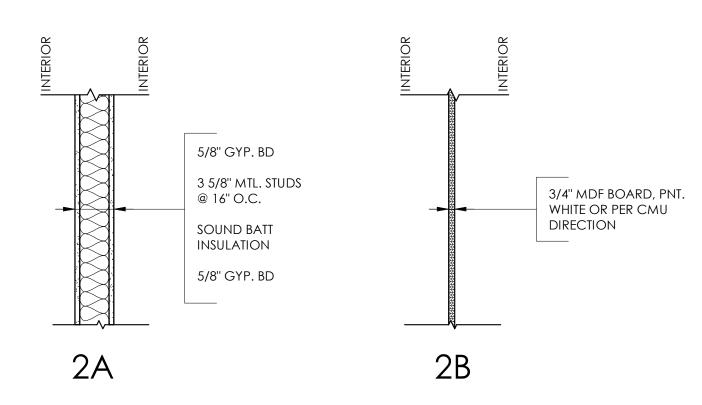
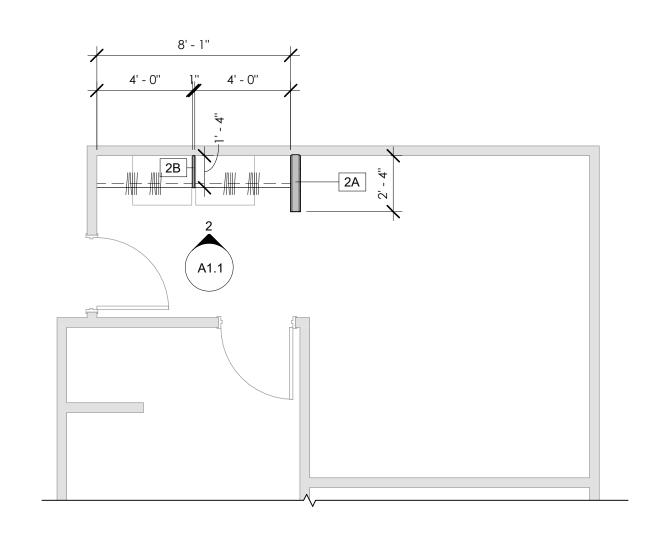
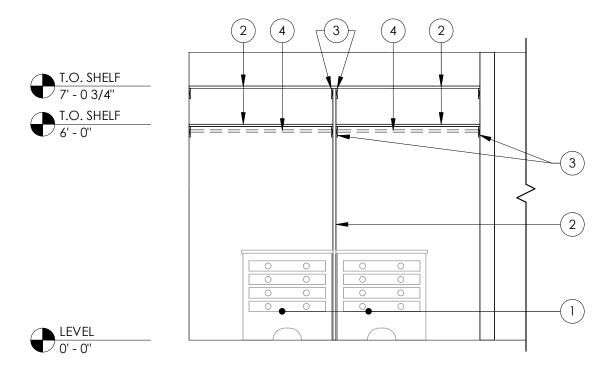
## WALL TYPES





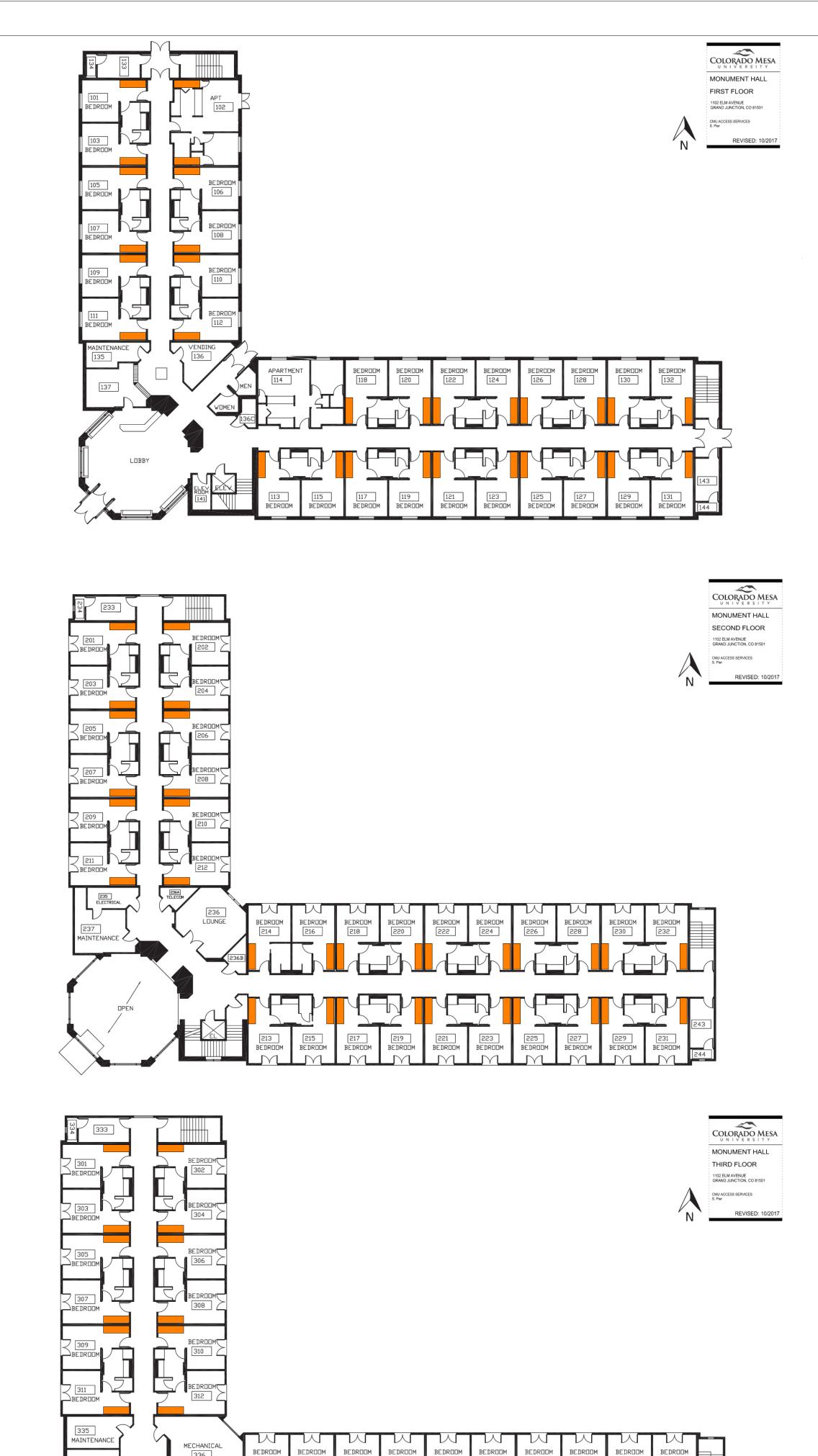
\* MIRRORED UNITS THROUGHOUT \*

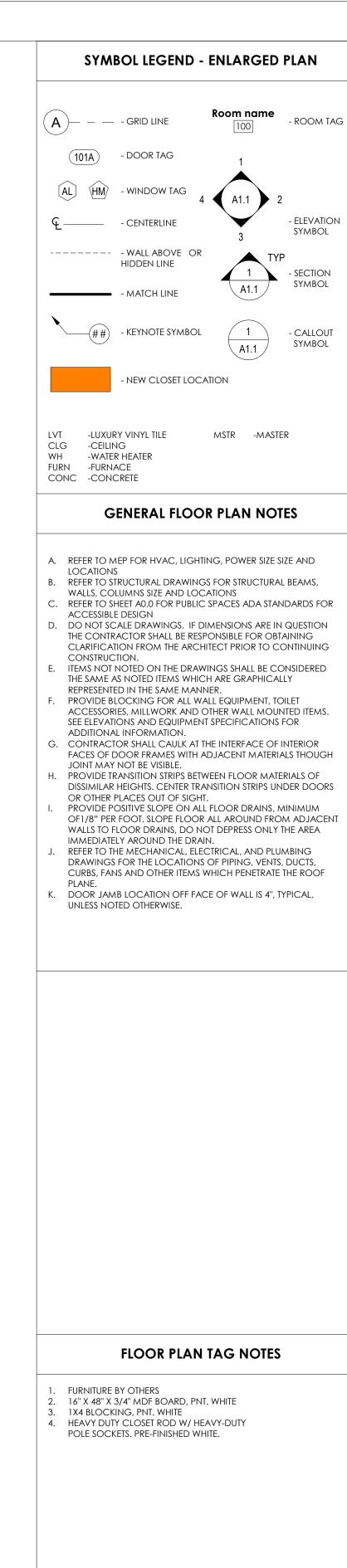




\* MIRRORED UNITS THROUGHOUT \*







REVISION(S): # DATE COMMENTS

- ROOM TAG

- ELEVATION

- SECTION

SYMBOL

- CALLOUT SYMBOL

**KRAAI DESIGN** 

ARCHITECTURE

2394 PATTERSON ROAD, SUITE 201 GRAND JUNCTION, CO 81505

126 ELK AVENUE, UNIT 1

CRESTED BUTTE, CO 81224

T: 970.712.5045

**REVIEW SET** 

1102 ELM WALK GRAND JUNCTION,

PROJECT NO: 2352

SHEET NAME: MAIN LEVEL PLAN, ELEVATIONS, SCHEDULES

DATE: 04/08/2025

SCALE: As indicated

NOT FOR CONSTRUCTION

#### grab bar **ABBREVIATION SYMBOL LEGEND ANGLE** DOOR NUMBER DIAMETER WINDOW TYPE PERPENDICULAR COLUMN GRID LOCATION PLUS OR MINUS CENTER LINE FLOOR DRAIN LINE OF WALL ABOVE FIRE EXTINGUISHER OR HIDDEN LINE BREAK LINE MATCH LINE

PLT

PTD

plate

panel

paint (ed)

projector, projection

pressure treated

pounds per square foot

pounds per square inch

paper towel dispenser

**WDW** 

WG

WRB

WWM

window

wide flange

waterproof (ing)

waste receptacle

welded wire mesh

weather resistive barrier

wire glass

without

FOF

FRP

FTG

GALV

FRMG

face of finish

fiber reinforced plastic

**ROOM NAME** 

ROOM NUMBER

INTERIOR WALL ELEVATION

REFERENCE DRAWING

REFERENCED SECTION

REFERENCED DETAIL

NUMBER SHEET NUMBER

NUMBER SHEET NUMBER

framing

footing

gallon

∖ A101

∖ A101

foot (feet)

gage, gauge

galvanized

#### CONTRACTOR SHALL BE GOVERNED BY THE CURRENT EDITION OF ALL CODES AND REGULATIONS HAVING JURISDICTION OVER ASPECTS OF THIS CONSTRUCTION PROJECT.

- WRITTEN DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND/OR THE SUB-CONTRACTORS. DO NOT SCALE DRAWINGS. IF FURTHER CLARIFICATION IS REQUIRED, CONTACT KDA AND PROVIDE FIELD
- ANY DISCREPANCY IN DIMENSIONS AND/OR DRAWINGS AND/OR GRAPHIC REPRESENTATION AND/OR FIELD MEASUREMENTS SHALL BE BROUGHT TO THE ATTENTION OF KDA PRIOR TO THE COMMENCEMENT OF WORK

DIMENSIONS AS REQUIRED TO ASSIST WITH CLARFICATION.

- THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT © OF KDA AND SHALL NOT BE USED ON OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH KDA.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS ANTICIPATES FURTHER COOPERATION AMONG THE OWNER, CONTRACTOR, AND KDA. ALTHOUGH KDA AND ITS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IN WRITING TO KDA WITHIN TEN (10) WORKING DAYS FROM THE ISSUANCE OF PLANS. FAILURE TO COOPERATE BY SIMPLE NOTICE TO KDA SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF KDA ARE UNAUTHORIZED, AND SHALL RELIEVE KDA OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.
- IF KDA, AS A CLAIMANT OR A DEFENDING PARTY, IS AT ANYTIME A PARTY TO LITIGATION INVOLVING ANY CLAIM RELATED TO WORK CONTAINED IN THESE DRAWINGS, AND SHOULD CLAIMANT NOT PREVAIL SUBSTANTIALLY AGAINST DEFENDING PARTY IN SUCH LITIGATION, ALL LITIGATION EXPENSES, WITNESS FEES, COURT COSTS AND ATTORNEYS FEES INCURRED BY THE DEFENDING PARTY IN DEFENDING AGAINST SUCH A CLAIM, SHALL BE PAID BY THE CLAIMANT.
- ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL INCLUDE ANY WORK REQUIRED TO MAKE THE END RESULT BUILDING OPERATIVE AND OCCUPIABLE. IF EQUIPMENT, MATERIAL, AND/OR INTENT ARE NOT DETAILED IN DRAWINGS OR SPECIFICATIONS BUT ARE OBVIOUSLY REQUIRED AS INDUSTRY STANDARD FOR OPERATIVE CONDITIONS, THIS WORK SHALL BE INCLUDED IN BASE BID. IF THE OWNER DOES NOT ACCEPT THE CONTRACTOR'S SELECTION, THE ADDITIONAL COST (TO THE CONTRACTOR) OF THAT EQUIPMENT OR MATERIALS CHOSEN BY THE OWNER OR KDA WILL BE OFFSET BY A CHANGE ORDER.
- TYPOGRAPHICAL ERRORS OR ERRORS OF SPELLING SHALL BE BROUGHT TO THE ATTENTION OF KDA FOR CLARIFICATION. INTERPRETATION OF THE MEANING OF MIS-TYPED OR MISSPELLED WORDS WITHOUT CLARIFICATION FROM KDA WILL BE DONE BY THE CONTRACTOR WITH ACCEPTANCE OF RESPONSIBILITY FOR THAT INTERPRETATION AND ALL CONSEQUENCES ARISING THEREFROM
- 0. NOTES: ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE WALL OR CENTER LINE OF CONSTRUCTION AS INDICATED (TYPICAL UNLESS OTHERWISE INDICATED).
- THE TERM "PROVIDE" AS USED HEREIN SHALL MEAN THAT CONTRACTOR SHALL FURNISH AND INSTALL SAID ITEM, CONSTRUCTION, EQUIPMENT, MATERIALS, ETC. FOR A COMPLETE FINISHED INSTALLATION.
- 12. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES DOING WORK FOR THE PURPOSE OF COORDINATION WITH OWNER AND OWNER'S SUB-CONTRACTORS REGARDING INSTALLATION AND PROVISIONS FOR ALL EQUIPMENT, MATERIALS, AND CONSTRUCTION INDICATED BY "OWNER" OR BY "OTHERS" ON THESE DOCUMENTS.
- 3. KDA ACCEPTS NO RESPONSIBILITY FOR ANY STRUCTURAL INFORMATION CONTAINED IN THESE PLANS. CONTRACTOR SHALL, PRIOR TO CONSTRUCTION, VERIFY ALL STRUCTURAL ENGINEERING INFORMATION AND REQUIREMENTS WITH A LICENSED STRUCTURAL ENGINEER. FAILURE TO DO SO INDICATES THE CONTRACTORS ACCEPTANCE OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING THEREFROM. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE STRUCTURAL ENGINEER OF RECORD WITH ALL STRUCTURAL DESIGNS DONE BY TRUSS MANUFACTURERS, ENGINEERED FLOOR JOIST DESIGNERS AND OTHER SPECIALIZED ENGINEERING SERVICES. THE STRUCTURAL ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR REVIEWING AND APPROVING SUCH INFORMATION AND FOR NOTIFYING DESIGNER OF ANY REQUIRED MODFICATIONS.
- 4. THE CONTRACTOR WARRANTS TO KDA THAT THEY POSSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITH THE PLANS AND SPECIFICATIONS CONTAINED HEREIN. IN THE EVENT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR, HE SHALL IMMEDIATELY NOTIFY KDA. FAILURE TO GIVE A SIMPLE NOTICE SHALL RELIEVE THE DESIGNER OF RESPONSIBILITY FOR THE CONSEQUENCES.
- 5. ANY CORRESPONDENCE BETWEEN OWNER/ CONTRACTOR/ AGENT AND ANY PERMITTING AGENCY (CITY, COUNTY, ETC.) MUST BE BROUGHT TO THE ATTENTION OF KDA IMMEDIATELY. CHANGES TO THE CONSTRUCTION SETS MAY BE REQUIRED. FAILURE TO DO SO RELEASES KDA FROM ANY RESPONSIBILITY OR LIABILITY.
- 6. CONTRACTOR OR OWNER SHALL CONFIRM, WITH A LICENSED SURVEYOR, PRIOR TO CONSTRUCTION THAT PLANS AND ELEVATIONS COMPLY WITH ALL APPLICABLE SETBACKS, ALLOWABLE MAXIMUM HEIGHT AND DRAINAGE STANDARDS AS OUTLINED IN THE SOILS REPORT AND/OR SUBDIVISION GUIDELINES, ETC. CONTRACTOR/ OWNER SHALL COFIRM THAT PERMITTING AGENCY IS INFORMED OF ALL SUCH INFORMATION OR ADDITIONAL INFORMATION CONTAINED IN CONSTRUCTION PLANS OR ANY SUBSEQUENT REVISIONS. FAILURE TO DO SO RELEASES KDA FROM ANY RESPONSIBILITY OR LIABILITY. ANY LOCATION (SETBACK) OR HEIGHT SURVEY REQUIRED BY THE PERMITTING AGENCY SHALL BE PERFORMED IMMEDIATELY AFTER CONSTRUCTION OF THE ELEMENT IN QUESTION (FOUNDATION OR FRAMING HEIGHT AND LOCATION). SAID SURVEY SHALL BE DELIVERED TO THE PERMITTING AGENCY PRIOR TO PROCEEDING WITH CONSTRUCTION.
- . DELIVERY AND STORAGE OF MATERIALS AND EQUIPMENT STAGING AREAS ARE TO BE COORDINATED WITH OWNER.
- 18. THE CONSTRUCTION SITE IS TO BE KEPT FREE OF DEBRIS.
- 19. CONTRACTOR SHALL PROVIDE ELECTROLYTIC PROTECTION BETWEEN DISSIMILAR METALS WHERE THEY OCCUR TO PREVENT ELECTROLYSIS/ CORROSION.
- 20. CONTRACTOR SHALL TAKE CARE TO PROVIDE PROTECTION FOR NEWLY INSTALLED AND EXISTINGWORK AND FINISHES.

#### **GENERAL NOTES**

42. PROVIDE ATTIC DRAFT STOPS AND VENTILATION IN

AT INSIDE CORNERS (UNLESS NOTED OTHERWISE).

FIXTURES, MATERIALS, OR ASSEMBLIES.

CONFORMANCE WITH ALL APPLICABLE BUILDING CODES.

43. ALL PAINT COLOR AND/OR MATERIAL TRANSITIONS ARE TO OCCUR

44. COMPLETE SHOP DRAWINGS AND EQUIPMENT SUBMITTALS SHALL

PRIOR TO FABRICATION OR ORDERING OF ANY EQUIPMENT,

45. OWNER'S REPRESENTATIVE OR ARCHITECT WILL REVIEW AND

COMMENT ON ALL SHOP DRAWINGS AND SAMPLES FOR

BE PROVIDED TO THE ARCHITECT FOR REVIEW AND COMMENT

CONFORMANCE WITH THE DESIGN INTENT OF THE PROJECT ONLY

THE APPROVAL OF A SINGLE COMPONENT SHALL NOT INDICATE

THE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS

46. ALL SHOP DRAWINGS AND SUBMITTALS SHALL BE ROUTED THROUGH

CONSULTANTS. SUBMIT ALL SHOP DRAWINGS IN THE FORM OF ONE

(1) 30" X 42" TRANSPARENCY (SEPIA) OF EACH SHEET. BLUELINES OR

REQUIREMENTS AS OUTLINED IN ALL LOCAL BUILDING CODES AND

THE CONTRACTOR. NO DOCUMENTS SHALL BE SUBMITTED

BLACKLINES ARE NOT ACCEPTABLE. WHEN SHOP DRAWINGS

MINIMUM OF FIVE (5) COPIES FOR REVIEW AND COMMENT.

INVOLVE MANUFACTURER'S DATA OR MATERIAL LIST, SUBMIT A

DIRECTLY TO THE ARCHITECT, OR TO THE ARCHITECT'S

47. EXTERIOR OPENINGS SHALL COMPLY WITH ALL SECURITY

48. ACCURATE AS-BUILT DRAWINGS SHALL BE GENERATED BY

ACQUIRED.

CONTRACTOR DURING CONSTRUCTION AND SUBMITTED TO

49. FOUR (4) SETS OF EQUIPMENT OPERATING AND MAINTENANCE

TWO WEEKS AFTER C.O. IS ACQUIRED.

INFILTRATION OF INSECTS.

THE JOB SITE.

OWNER UPON COMPLETION OF FINAL PUNCH LIST, BUT PRIOR TO

REQUEST FOR FINAL PAYMENT. WITHIN TWO WEEKS AFTER C.O. IS

MANUALS SHALL BE SUBMITTED TO THE OWNER UPON COMPLETION

OF PROJECT, BUT PRIOR TO REQUEST FOR FINAL PAYMENT. WITHIN

50. CONTRACTOR SHALL NOT ALLOW ANY PERSON TO DESCEND INTO

ANY TRENCH OR HOLE, OR CREATE ANY SUCH EXCAVATIONS,

WITHOUT THE PRIOR APPROVAL OF BUILDING DEPARTMENT AS

51. VERIFY FIRE EXTINGUISHER REQUIREMENTS AND LOCATIONS WITH

53. CONTRACTOR SHALL INSTRUCT SUBCONTRACTORS TO CAREFULLY

REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY.

ANYTHING OTHER THAN COMPLETE SETS OF DOCUMENTS.

DETERMINATION OF FIRE LANES BEFORE FINAL INSPECTION

54. NOTHING IN THESE DOCUMENTS IS TO BE INTERPRETED AS

55. THE LIFE SAFETY INSPECTOR WILL MAKE FINAL

IS MADE. SEE SITE PLAN FOR REQUIREMENTS.

INFORMATION REGARDING COMPLETE WORK OF SPECIFIC TRADES

AND SUB-TRADES IS DISPERSED THROUGHOUT THE DRAWINGS AND

SPECIFICATIONS AND CANNOT BE DETERMINED BY REFERENCE TO

RELIEVING THE CONTRACTOR OF SOLE RESPONSIBILITY FOR THE

METHODS AND MEANS OF CONSTRUCTION, AS WELL AS SAFETY AT

52. CONTRACTOR SHALL SEAL ALL GAPS, HOLES, AND CRACKS IN

BUILDING CONSTRUCTION AS REQUIRED TO CONTROL

WELL AS ALL OTHER AGENCIES HAVING JURISDICTION.

FIRE MARSHAL AND OWNER'S REPRESENTATIVE.

- 21. THE GENERAL BUILDING PERMITS SHALL BE PAID FOR BY THE OWNER AND SECURED BY THE GENERAL CONTRACTOR. ALL OTHER REQUIRED PERMITS SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR OR SUBCONTRACTOR DIRECTLY RESPONSIBLE. ALL REQUIRED CITY AND COUNTY LICENSES SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADES.
- 22. ALL CONTRACTORS SHALL HAVE VALID CERTIFICATES OF WORKMAN'S COMPENSATION ON FILE WITH THE APPROPRIATE AGENCIES. INSURANCE REQUIREMENT MUST BE MET PER LEASE AGREEMENT.
- 23. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR THE REPAIR OR REPLACEMENT OF UTILITIES AND ALL OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH EXECUTION OF WORK.
- 24. CONTRACTOR SHALL PROVIDE TEMPORARY FIELD OFFICE, TELEPHONES, FAX MACHINE, TEMPORARY SECURITY FENCE, WATER, POWER, AND TOILET FACILITIES. COORDINATE LOCATIONS WITH ALL APPROPRIATE AGENCIES. FIELD OFFICE SHALL ALSO CONTAIN CURRENT COPIES OF ALL GOVERNING BUILDING CODES AND
- 25. CITY APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE (1) COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- 26. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE JOB IS IN PROGRESS UNTIL WORK IS COMPLETE.
- 27. CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A CLEAN AND ORDERLY MANNER. ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE LEFT IN BROOM-CLEAN CONDITION AT ALL TIMES. CONTRACTOR SHALL LOCATE AND MAINTAIN A TRASH BIN AT THE SITE. SUCH BIN SHALL BE OF ADEQUATE DIMENSION TO KEEP SITE CLEAN AT ALL TIMES. DUST RESULTING FROM SALVAGE, DEMOLITION AND REMOVAL WORK SHALL BE CONTROLLED TO PREVENT THE IMPOSITION OF A NUISANCE OR HAZARDOUS CONDITION TO THE ADJOINING PORTION OF THE PROJECT. THE USE OF WATER WILL NOT BE PERMITTED WHEN SUCH USE WOULD RESULT IN HAZARDOUS, OR OTHERWISE OBJECTIONABLE CONDITIONS
- 28. CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- 29. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL
- 30. CONTRACTOR SHALL PROVIDE REQUIRED PROTECTION INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, AND ALL OTHER SUPPORTS (INCLUDING ENGINEERING OF SYSTEMS) NECESSARY TO MAINTAIN OVERALL STRUCTURAL INTEGRITY OF THE BUILDING. ALL DEMOLITION AND CUTTING SHALL BE PERFORMED IN A MANNER AND BY METHODS WHICH ENSURE AGAINST DAMAGE TO EXISTING
- 31. INTERIOR WALL AND CEILING FINISHES FOR DINING, AND WAITING AREAS SHALL NOT EXCEED FLAME SPREAD CLASSIFICATIONS DICTATED BY ALL APPLICABLE BUILDING CODES.
- 32. NO STRUCTURAL MEMBERS SHALL BE CUT TO ACCEPT PIPES, VENTS, DUCTS, OR OTHER PENETRATIONS, EXCEPT AS DETAILED OR SPECIFIED HEREIN.
- 33. GYPSUM BOARD AND SUSPENDED CEILING SYSTEMS SHALL CONFORM TO ALL LOCAL GOVERNING BUILDING CODES AND
- 34. ALL GLASS AND GLAZING SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AS WELL AS THE U.S. CONSUMER PRODUCT SAFETY COMMISSION, SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS (47 FR, 13516 TITLE NO. 16, CHAPTER 11, PART
- 35. CONTRACTOR SHALL ASSIST OWNER IN OBTAINING FINAL APPROVAL OF LOCAL HEALTH DEPARTMENT AND THE TEMPORARY AND FINAL CERTIFICATES OF OCCUPANCY.
- 36. CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REMEDY, REPAIR, OR REPLACE ANY FAULTY, IMPROPER OR INFERIOR WORKMANSHIP OR MATERIALS AND ANY RELATED DAMAGE CAUSED BY THESE WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT. REFER TO SPECIFICATIONS FOR WARRANTY REQUIREMENTS IN EXCESS OF ONE (1) YEAR. IN ADDITION TO EQUIPMENT WARRANTIES, FURNISH OWNER A WRITTEN GUARANTEE AGAINST LATENT AND PATENT DEFECTS IN MATERIALS AND WORKMANSHIP FOR ONE (1) YEAR. GUARANTEE SHALL INCLUDE REPAIR, DAMAGE TO, OR REPLACEMENT OF, ANY PART OF EQUIPMENT PROVIDED.
- 37. PIPES, CONDUITS, OR DUCTS EXCEEDING ONE THIRD OF THE SLAB OR MEMBER THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR LOCATION OF SLEEVES AND OTHER ACCESSORIES.
- 38. ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL THE LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION.
- 39. ALL EQUIPMENT ON THE FOOD SERVICE DRAWINGS IS TO BE EXCLUDED FROM THE GENERAL CONTRACT UNLESS OTHERWISE STATED. BACKING, ROUGH-INS, AND FINAL HOOK-UPS ARE A PART OF THE GENERAL CONTRACT. ALL PLUMBING FIXTURE VACUUM BREAKERS NECESSARY, PER LOCAL CODE REQUIREMENTS, ARE TO BE SUPPLIED WITH KITCHEN EQUIPMENT. ELECTRICAL CONNECTIONS AND DISCONNECTS NECESSARY TO MEET LOCAL CODE REQUIREMENTS WILL BE SUPPLIED WITH KITCHEN EQUIPMENT WITH FINAL HOOK-UPS ONLY BY CONTRACTOR.
- 40. CONTRACTOR SHALL PROVIDE BACKING FOR SUPPORT OF ALL WALL, CEILING, AND PARTITION MOUNTED ITEMS SUCH AS TABLE BRACKETS, LIGHT FIXTURES, ARTIFACTS, SHELVING, EQUIPMENT, AND TELEVISIONS. COORDINATE LOCATIONS AND REQUIREMENTS WITH THE PLUMBING, MECHANICAL, ELECTRICAL, AND FOOD SERVICE DRAWINGS AS WELL AS INTERIOR DESIGN CONSULTANT AND
- 41. CONTRACTOR SHALL VERIFY LOCATIONS OF FOOD SERVICE EQUIPMENT AND COORDINATE LOCATIONS OF FLOOR SINKS, FLOOR DRAINS, TROUGH DRAINS, SLAB DEPRESSIONS, RAISED CURBS, ELECTRICAL STUB-OUTS, PLUMBING STUB-OUTS, AND ALL OTHER WORK UNDER THE SCOPE OF RESPONSIBILITIES RELATED TO THIS EQUIPMENT. REFER TO THE FOOD SERVICE DRAWINGS FOR ADDITIONAL INFORMATION.

## MONUMENT HALL CLOSETS

## 1102 ELM WALK GRAND JUNCTION, CO



126 ELK AVENUE, UNIT 1 CRESTED BUTTE, CO 81224 T: 970.712.5045

## <u>ARCHITECT</u>

### **KRAAI DESIGN ARCHITECTURE**

2394 Patterson RD, Suite 201 Grand Junction, CO 81505 T: 970.712.5045 www.kraaidesign.com

# **CONSULTANTS** CONTRACTOR **GOVERNMENT** MESA COUNTY **BUILDING DEPARTMENT** 200 S. SPRUCE ST. GRAND JUNCTION, CO 81501 T: 970.244.1631

#### **SHEET INDEX**

Denver Mattress

| SHEET INDEX                            |
|----------------------------------------|
| SHEET NAME                             |
|                                        |
|                                        |
| TITLE SHEET                            |
|                                        |
|                                        |
| MAIN LEVEL PLAN, ELEVATIONS, SCHEDULES |
|                                        |

1102 ELM WALK GRAND JUNCTION, REVISION(S): # DATE COMMENTS

**REVIEW SET** 

2352

DATE: 04/08/2025

SHEET NO:

NOT FOR CONSTRUCTION

**VICINITY MAP** PROJECT LOCATION -Maverick Center 💽

PROJECT NO:

SHEET NAME: TITLE SHEET