

**PROJECT**

FIRE STATION FOUR FOR THE CITY OF GRAND JUNCTION  
JUNCTION LOCATED AT NORTH WEST CORNER  
OF 27 ROAD AND B 2 ROAD

**DESIGN TEAM**

**ARCHITECT**

DILLON HUNT/ARCHITECTURE AND PROJECT  
MANAGEMENT 2004 N 12TH AVE SUITE 100  
245-7383

**STRUCTURAL ENGINEER**

ARMSTRONG ENGINEERS AND ASSOCIATES  
66 ROAD AVENUE SUITE 100  
245 3861

**MECHANICAL/ELECTRICAL ENGINEERS**

YONER ENGINEERING CONSULTANTS INC  
25 NORTH 8TH STREET SUITE 100  
245-7383

**DRAWING INDEX**

- A-0 TITLE SHEET
  - A-1 SITE PLAN
  - A-2 FOUNDATION PLAN
  - A-3 FLOOR PLAN
  - A-4 SECTION
  - A-5 ELEVATIONS
- PROJECT MANUAL ADDITIONAL ARCHITECTURAL  
DETAILS AND SCHEDULES ARE LOCATED WITHIN  
THE MANUAL. THESE DETAILS ARE KEYED AS FOLLOWS:

**PM-6-3-**

- ← DIVISION DETAIL NO
- M-1 SITE PLAN
- M-2 FLOOR PLAN PLUMBING
- M-3 FLOOR PLAN HEATING
- M-4 DETAILS AND SCHEDULES
- E-1 FLOOR PLAN LIGHTING
- E-2 FLOOR PLAN POWER
- E-3 FLOOR PLAN SYSTEMS
- E-4 SCHEDULES

F I R E S T A T I O N 4



2004 north 12th  
grand junction co

SET NO.

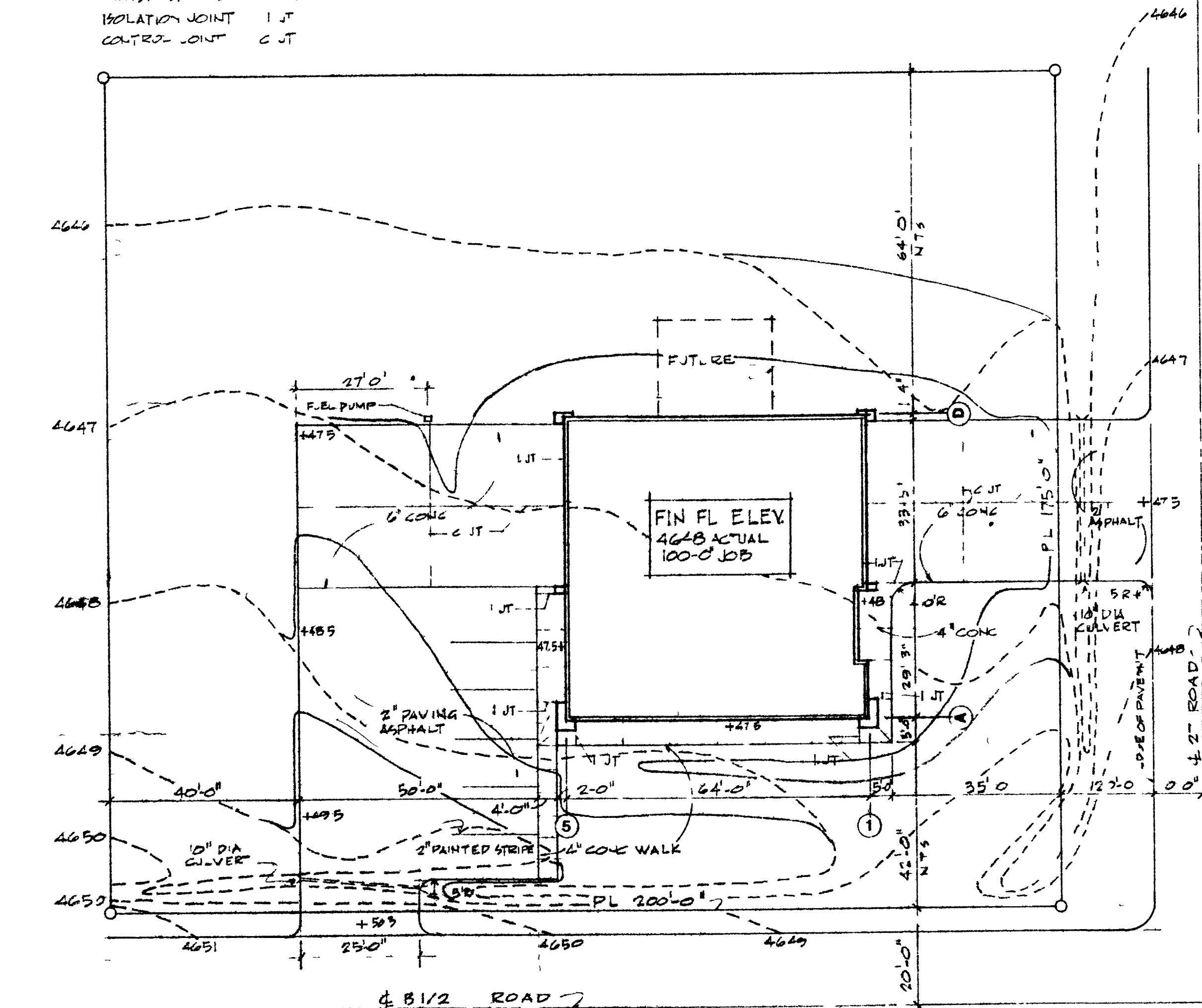
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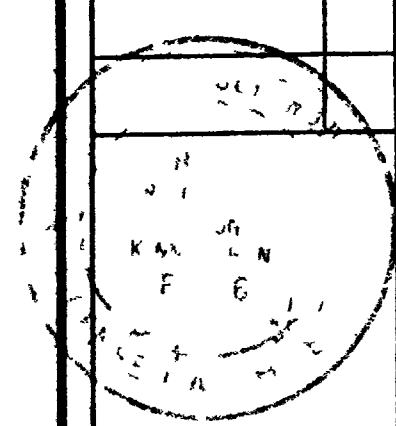
**NOTE.**

1 REMOVE TOP SOIL FROM AREAS WITHIN BORDERS OF PAVING SURFACES AND THE BOLD LINE

EXISTING GRADE - - - - -  
 FINISH GRADE \_\_\_\_\_  
 FINISH SPOT EL +00.0  
 ISOLATION JOINT I JT  
 CONTROL JOINT C JT



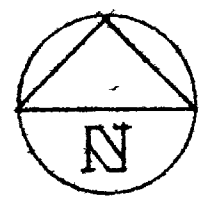
33  
 30  
 63 X 64  
 OK 4032 A' actual  
 6000 allowed  
 12000



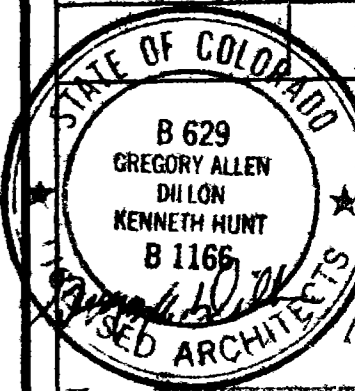
FIRE STATION 4

**DILLON HUNT**  
 ARCHITECTURE and  
 PROJECT MANAGEMENT  
 2004 north 12th  
 grand junction co

**SITE PLAN 1"=20'-0"**



Date	11/10/09
Scale	
Drawn	GD
Job	7904
Sheet	A-1
Of 5	Sheets

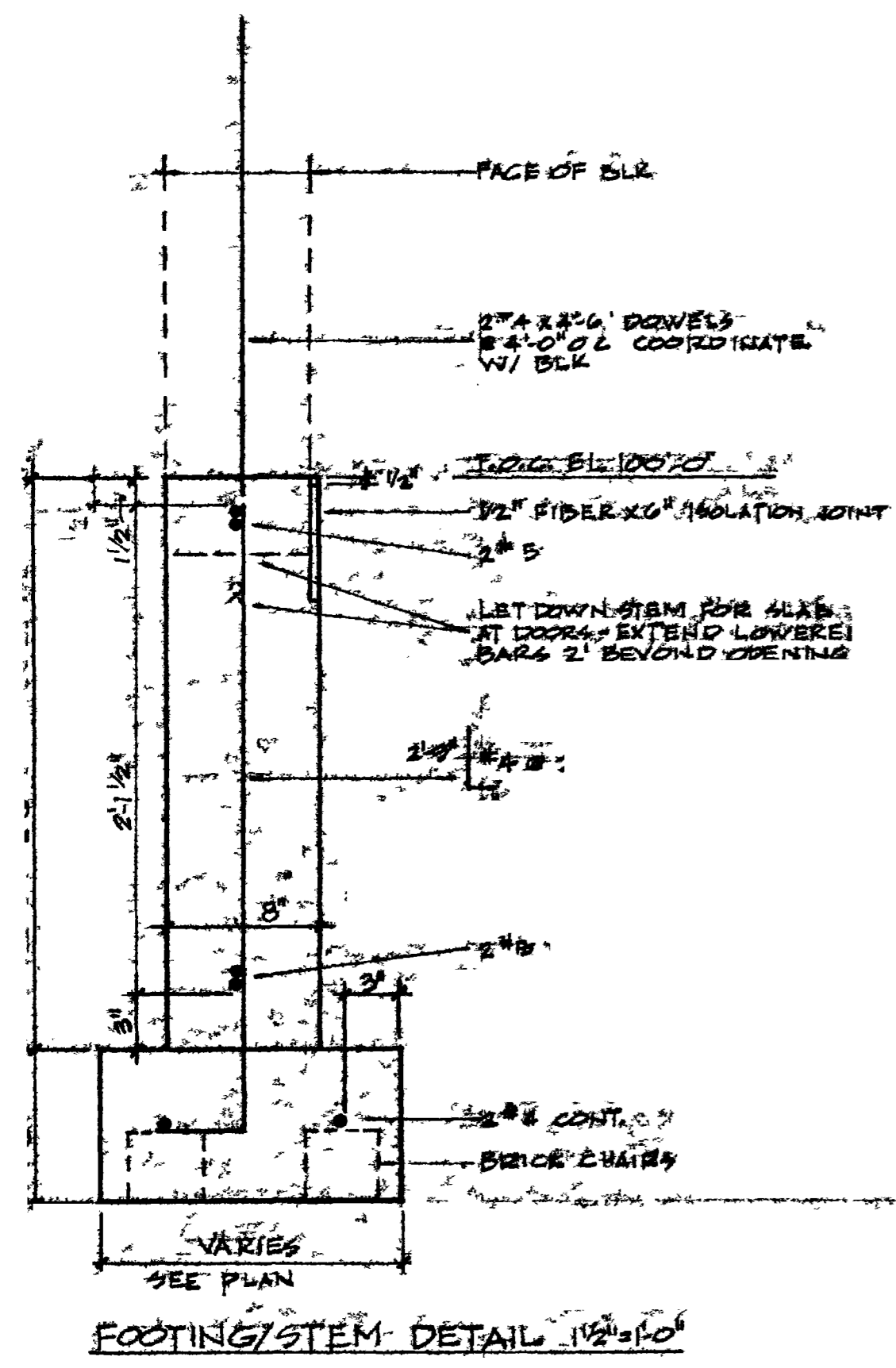
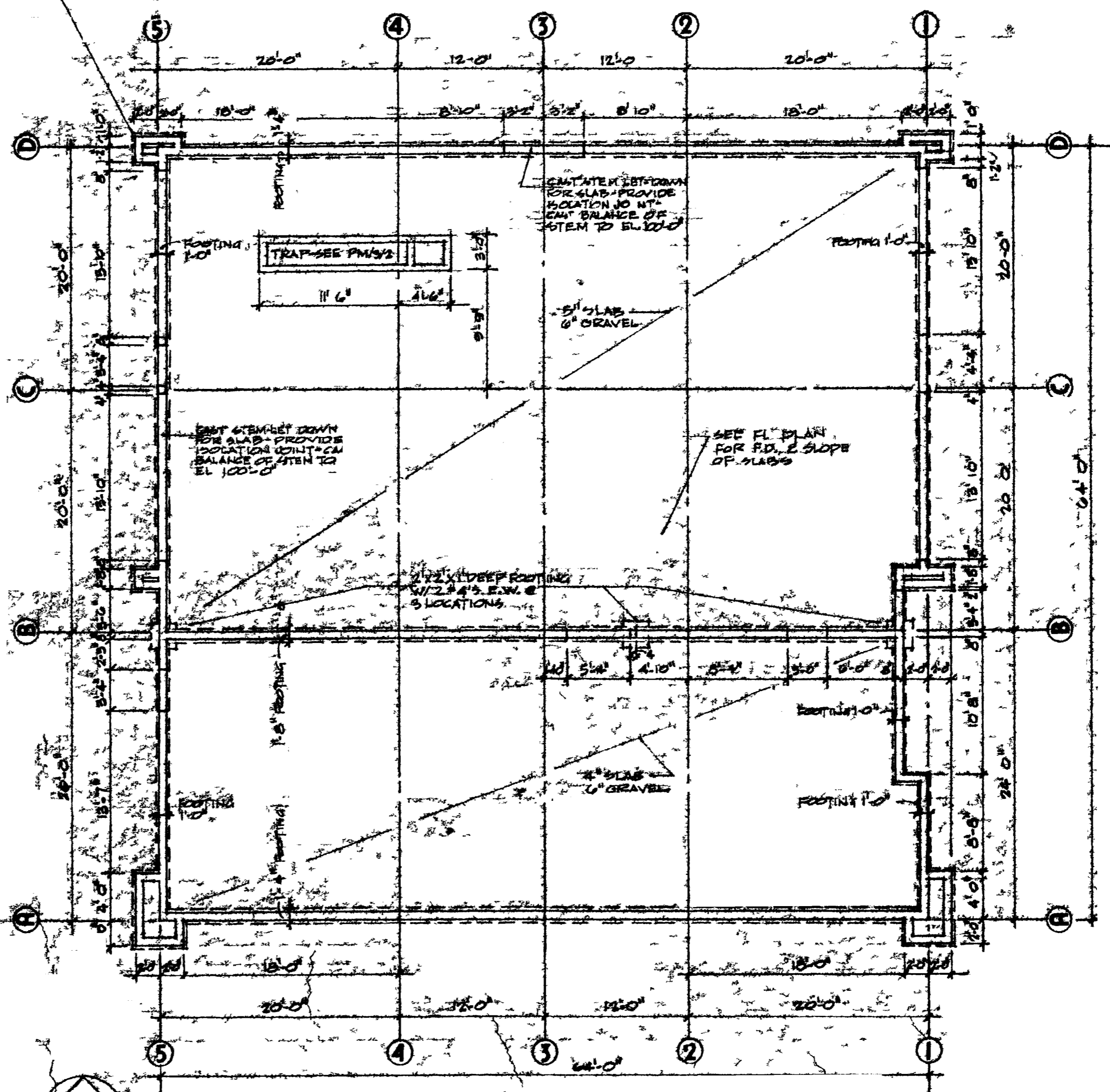


F I N E S T R A T I O N

**DILLON HUNT ARCHITECTURE AND PROJECT MANAGEMENT**  
 2904 North 12th  
 Grand Junction CO

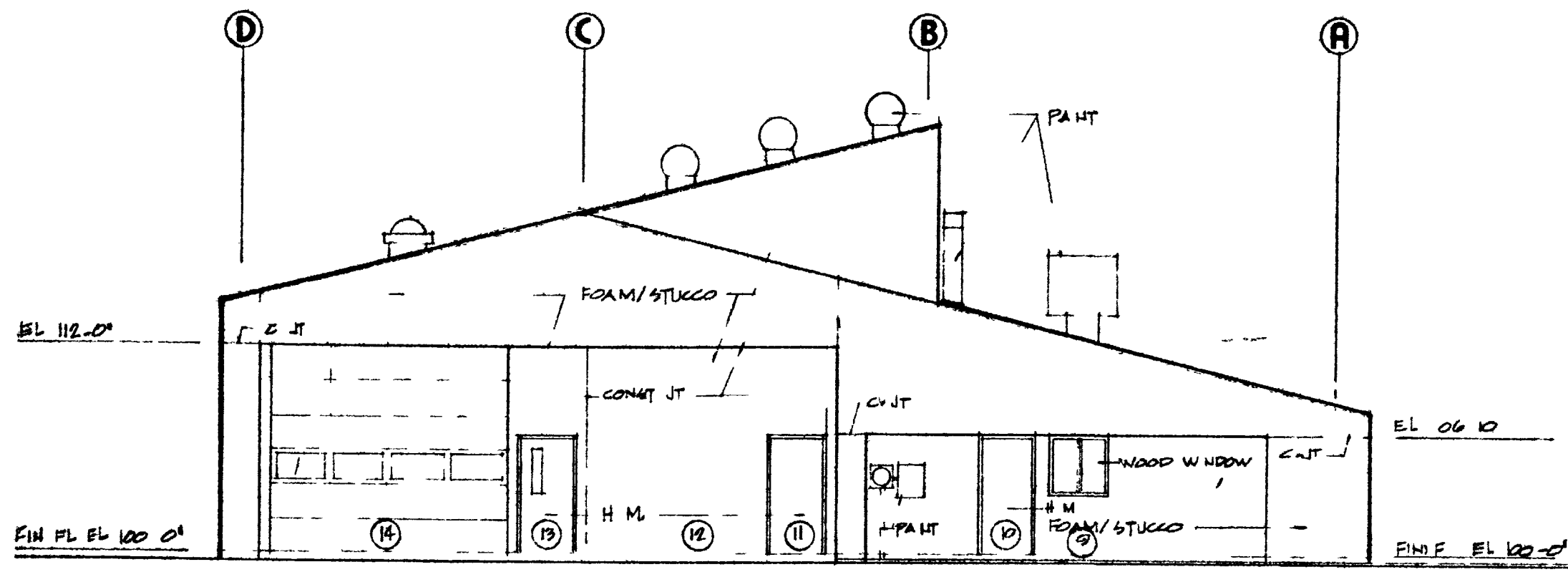
Date	APR 1 1979
Scale	
Drawn	GD
Job	7904
Sheet	A-2
Of 5	Sheets

**NOTE**  
 CONSTRUCT FOOTING AT THICKENED WALL WIDE END FOR FORMING SYSTEM - REINFORCE ACCORDING TO DETAIL EXCEPT EXCLUDE BLK DWELLS

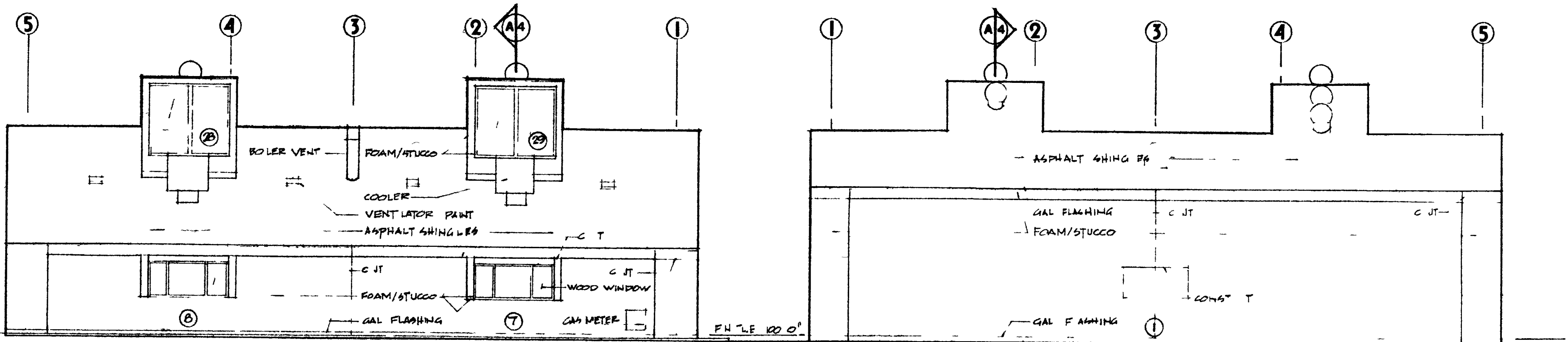


**FOUNDATION PLAN 1/8" = 1'-0"**



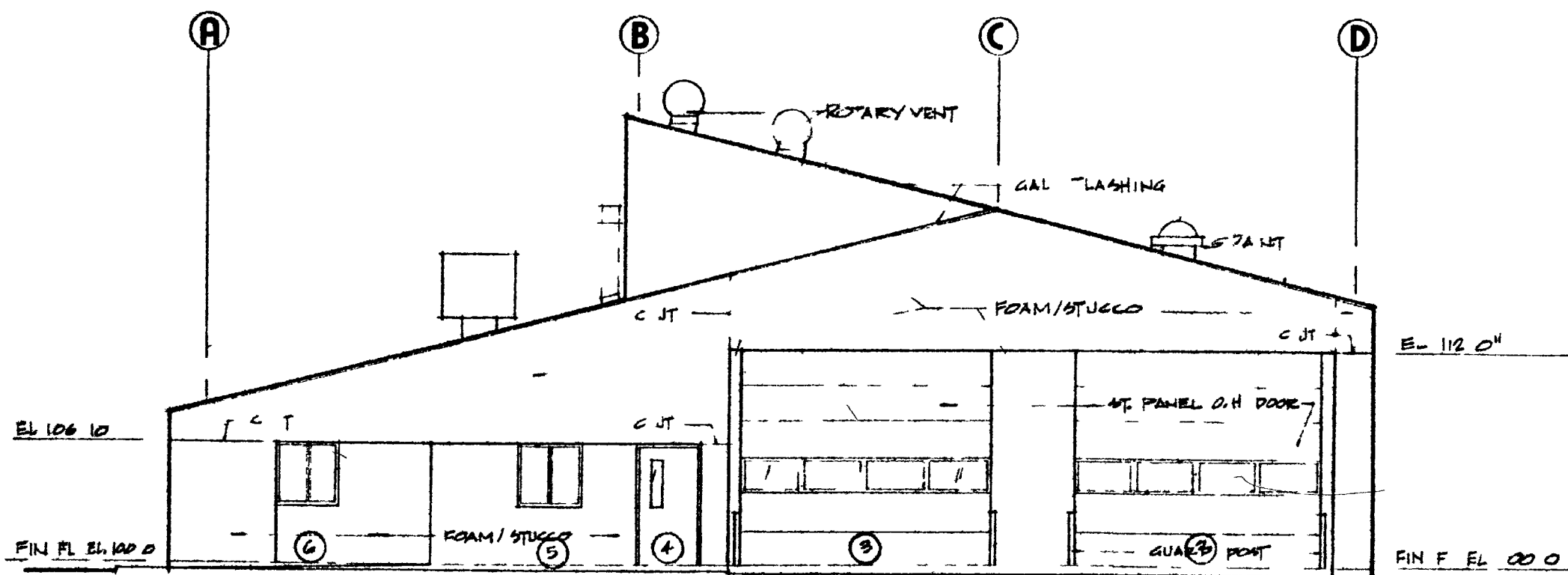


WEST



SOUTH

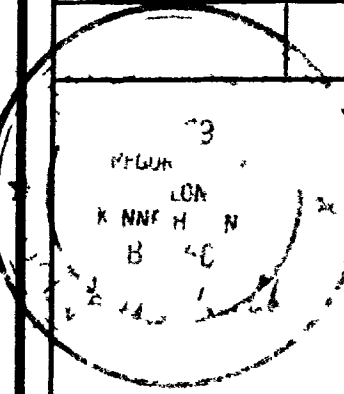
NORTH



EAST

ELEVATIONS 1/8" = 1'-0"

REVISIONS BY



4  
STATION  
FIRE

DILLON HUNT  
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PROJECT MANAGEMENT  
2004 north 12th  
grand junction co

Date 11-15-09

Scale

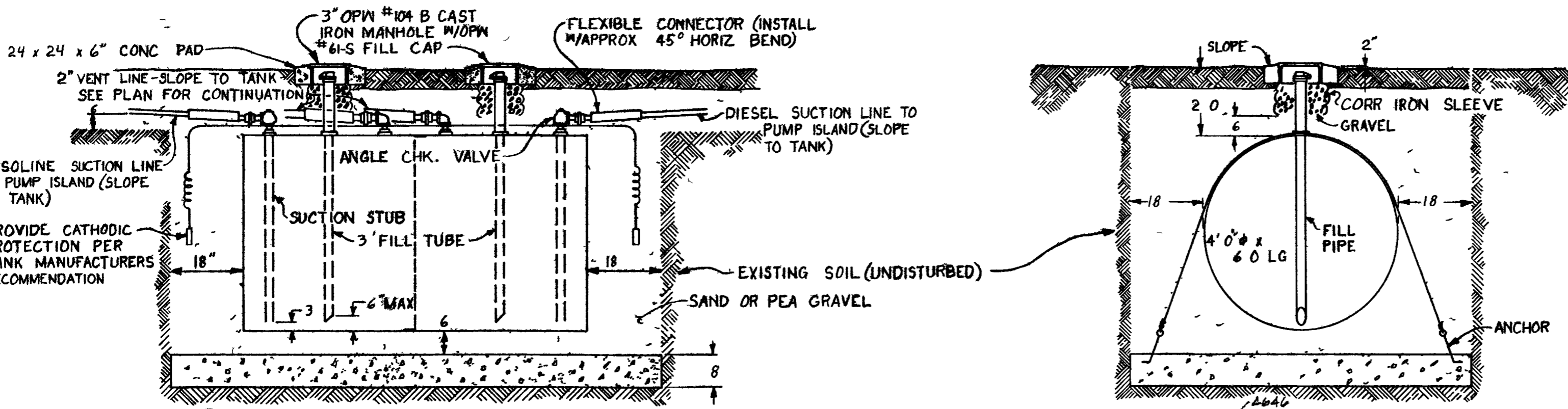
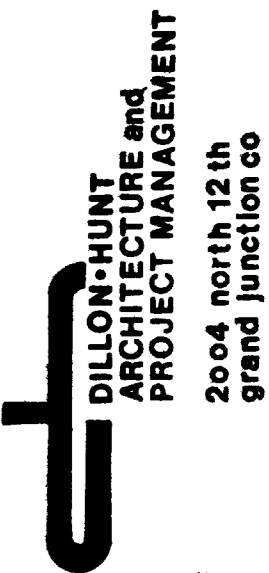
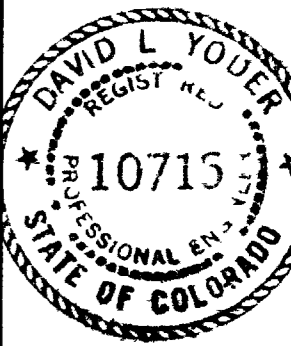
Drawn AD

Job

Sheet

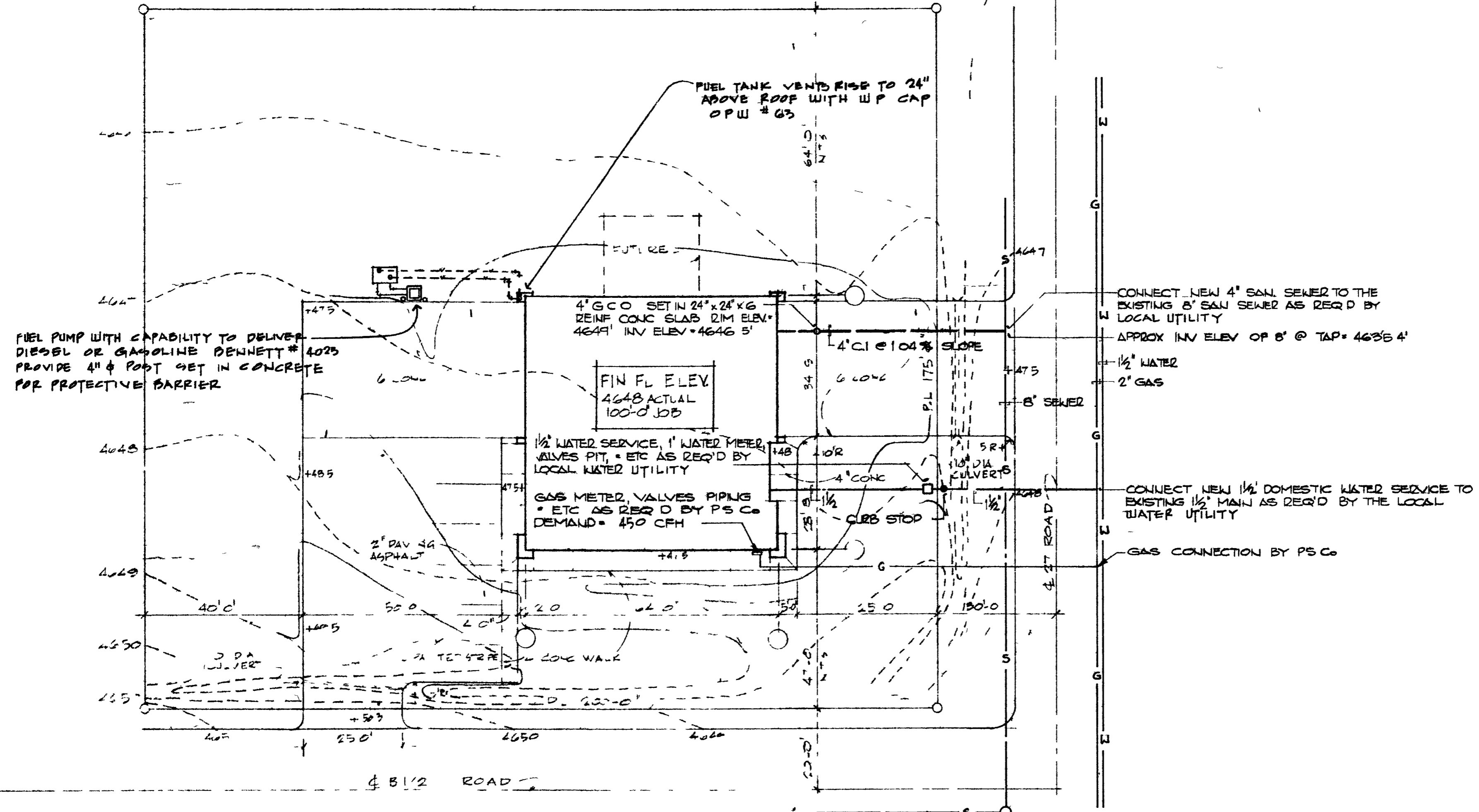
A 5

Of 5 Sheets

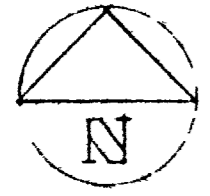


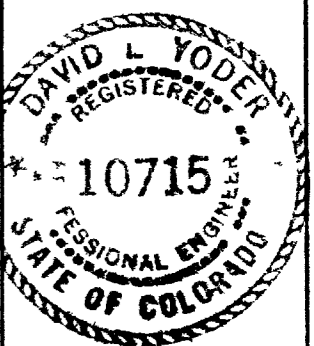
FUEL STORAGE TANK INSTALLATION DETAIL

NOT TO SCALE



SITE PLAN 1"=20'-0" MECHANICAL

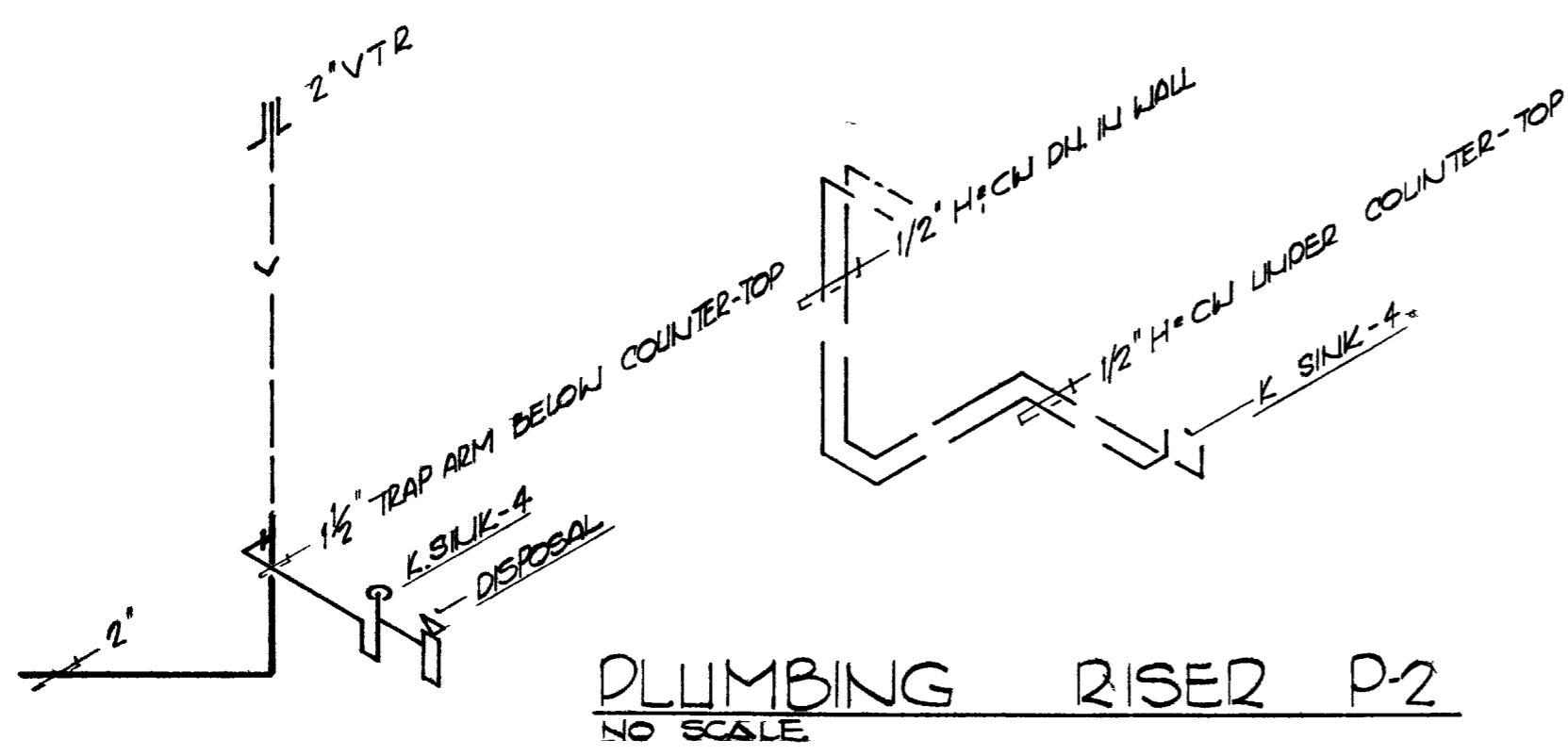




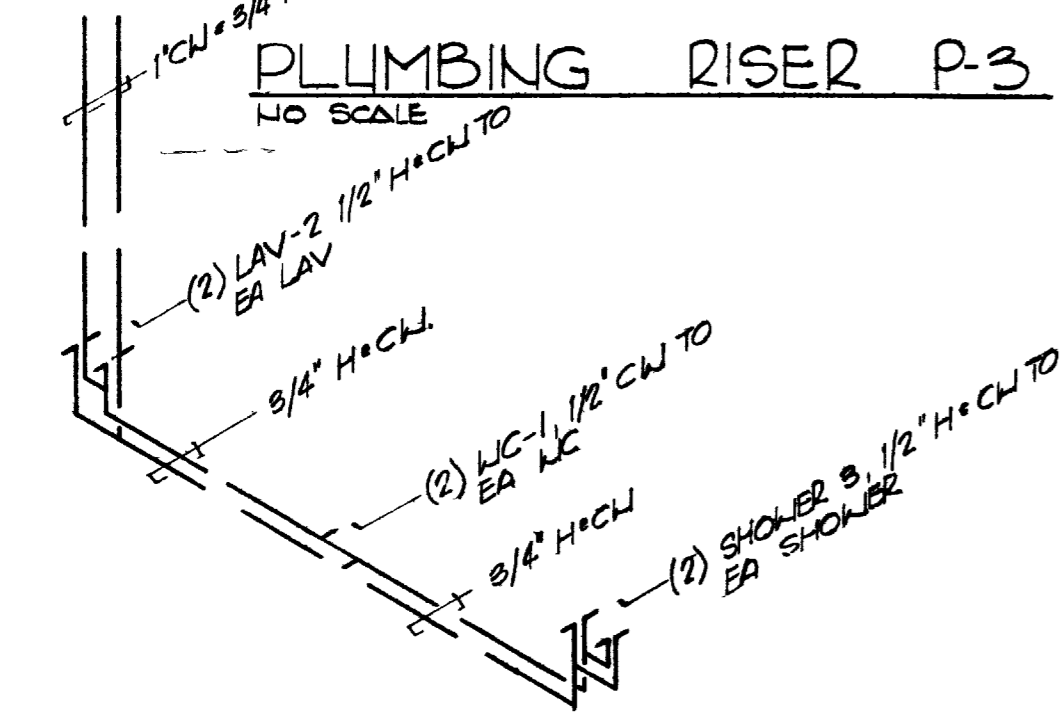
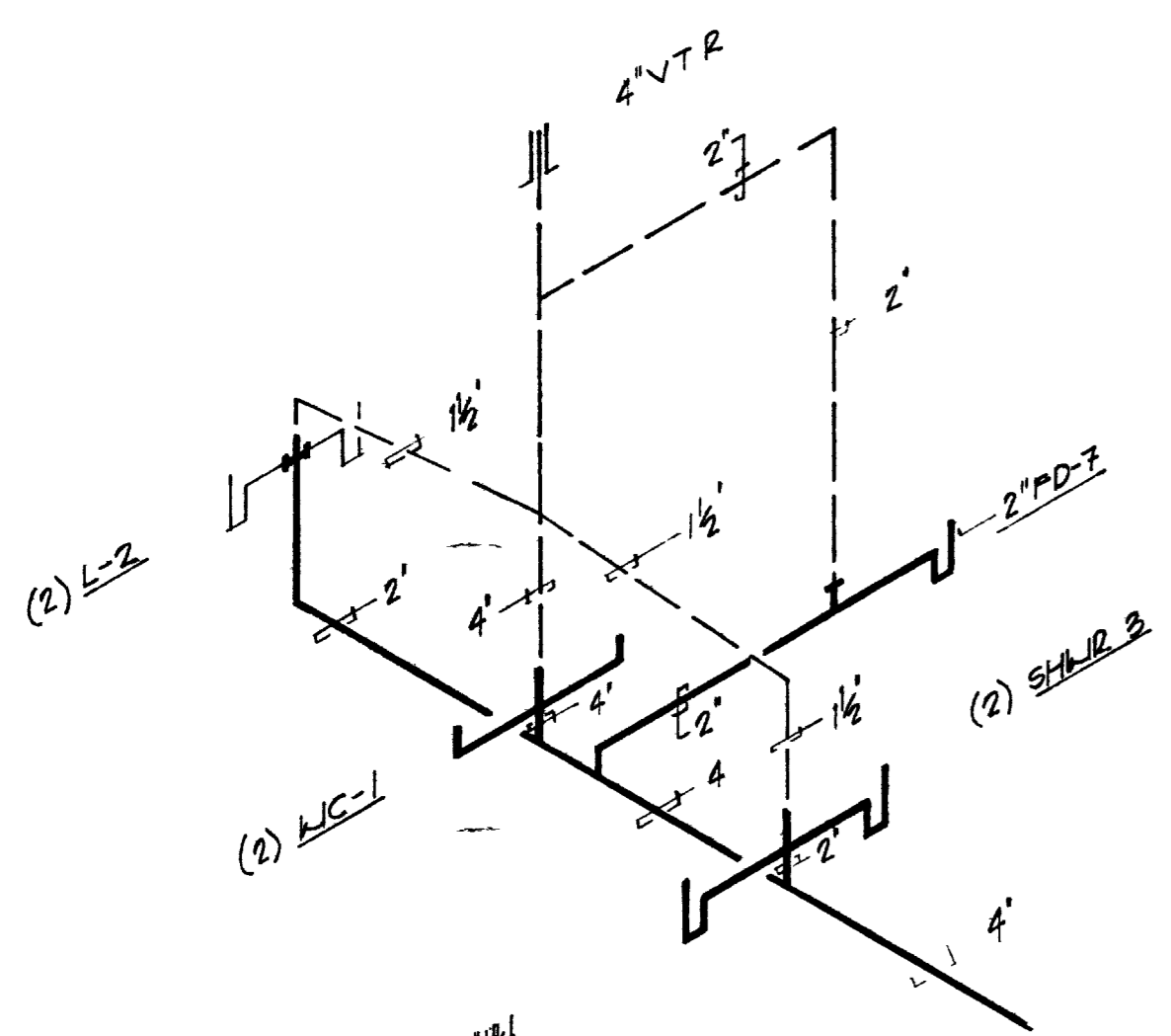
FIRE STATION 4

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2004 north 12th grand junction co

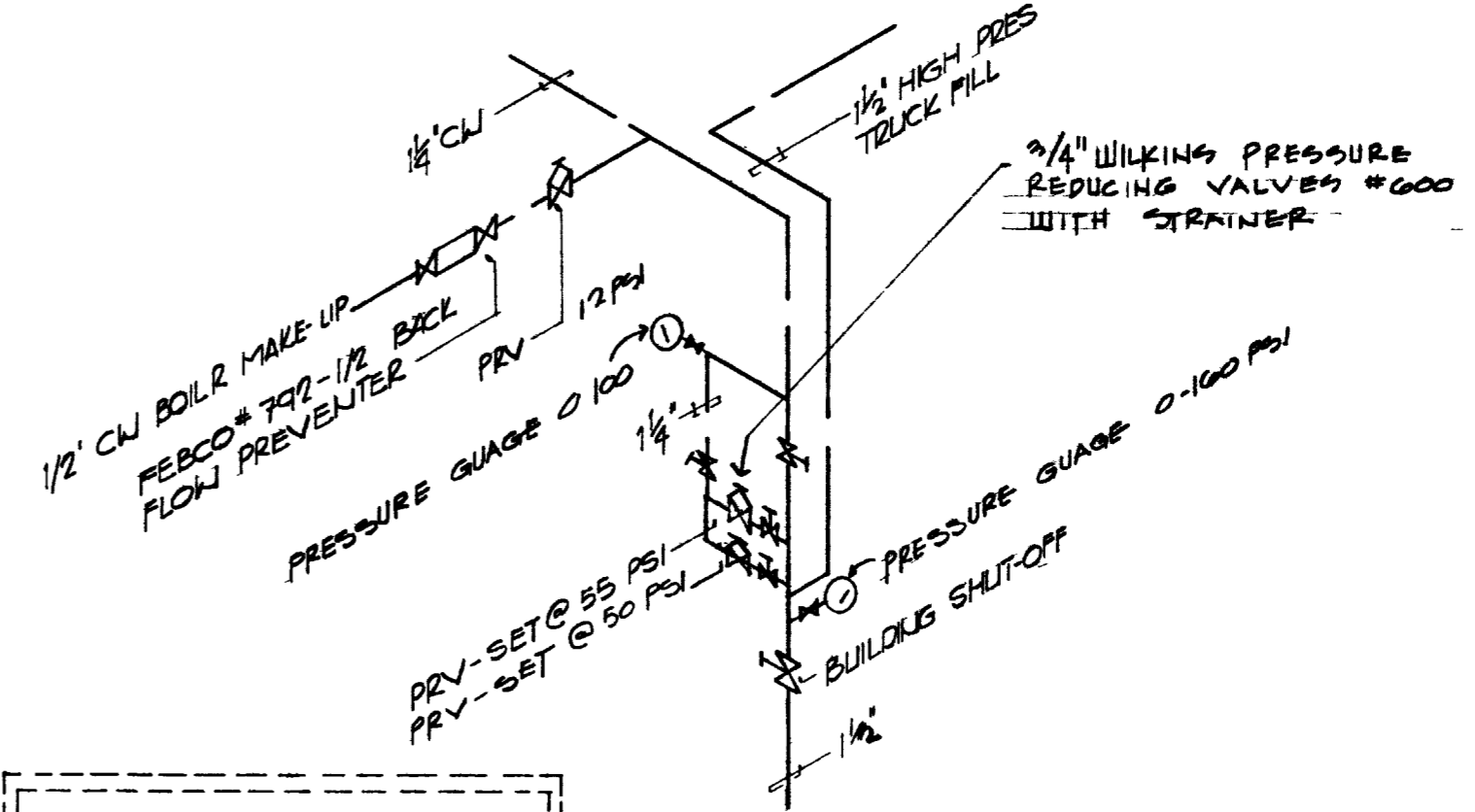
Date 3 29 74  
Scale AS NOTED  
Drawn BRADDOCK  
Sheet M2  
Of 4 Sheets



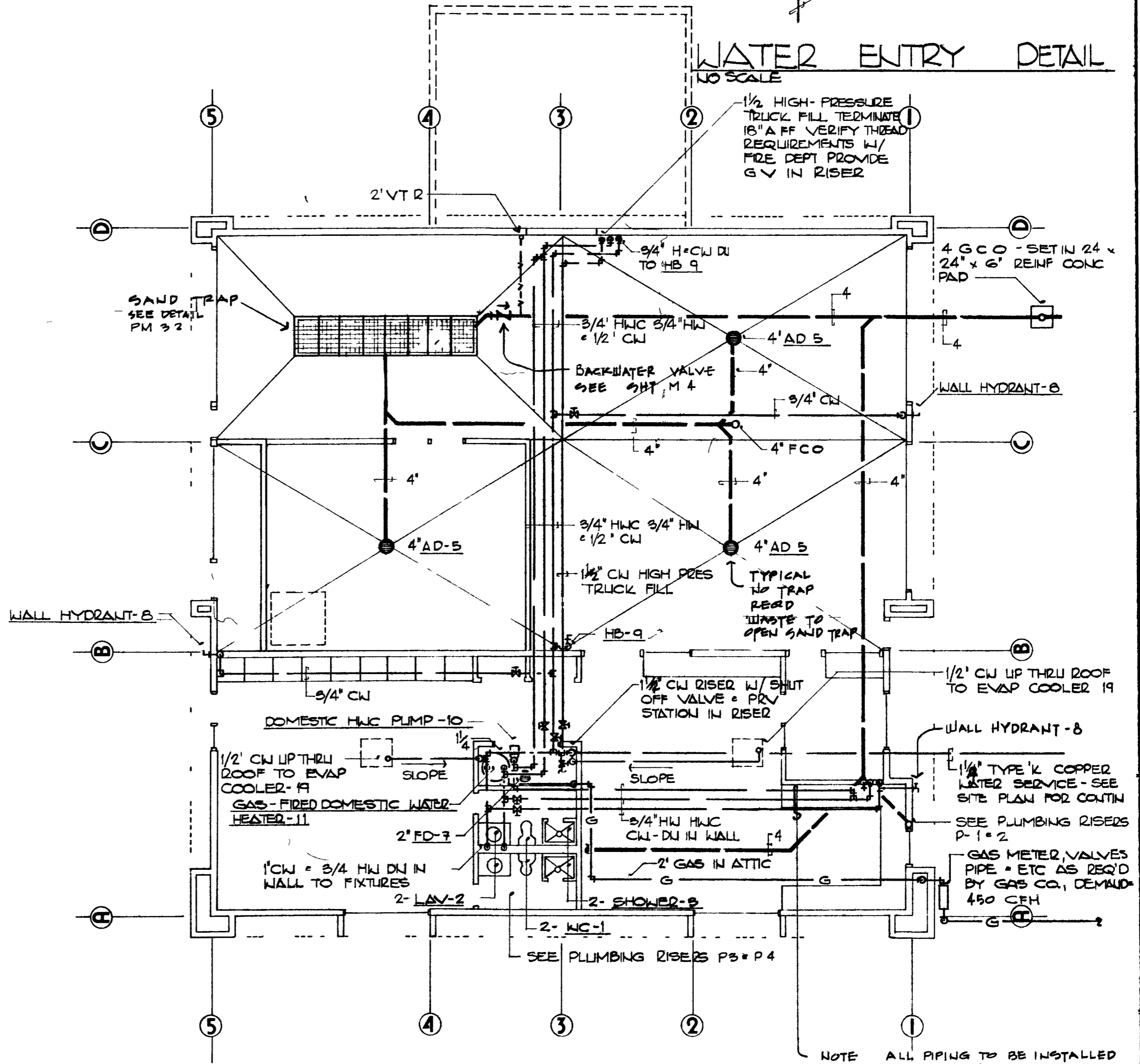
PLUMBING RISER P-1  
NO SCALE



PLUMBING RISER P-4  
NO SCALE



WATER ENTRY DETAIL  
NO SCALE

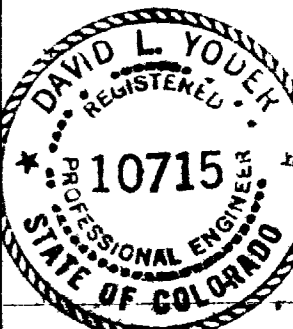


FLOOR PLAN 1/8" = 1 0"

NOTE ALL PIPING TO BE INSTALLED ON WARM SIDE OF BUILDING INSULATION & INSULATED AS REQUIRED BY SPECIFICATIONS SEE SHEET A4 FOR INSTALLATION DETAIL







4  
 STATION  
 FIRE

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 PROJECT MANAGEMENT  
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 grand junction co

Date 3 29 79  
 Scale AS NOTED  
 Draw BRADDOCK  
 Job  
 Sheet **M 4**  
 of 4 Sheets

# MECHANICAL LEGEND

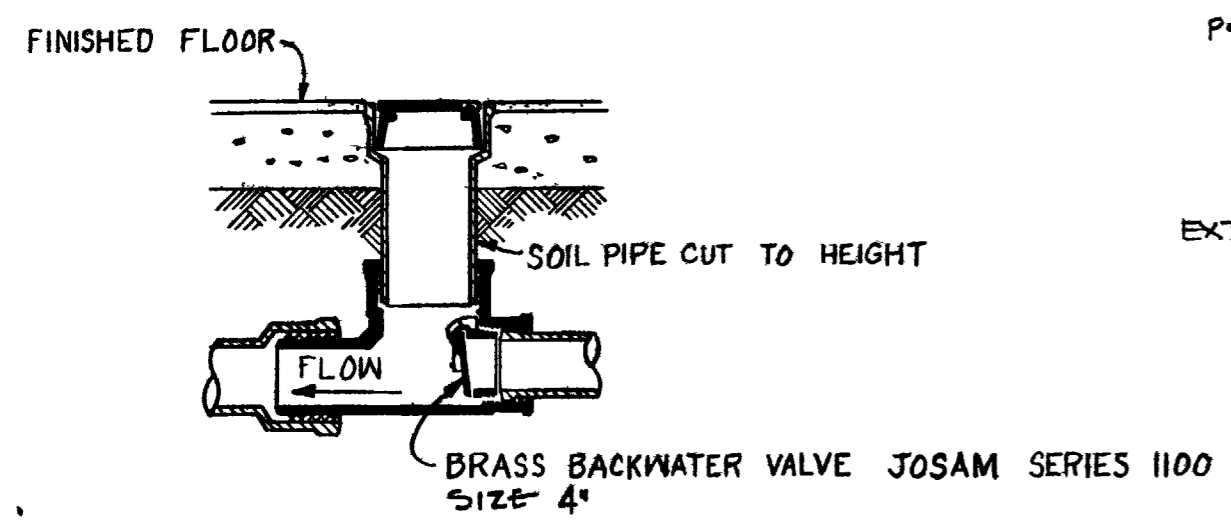
	S OR W	SANITARY SEWER ABOVE FLOOR (GRADE)
	S OR W	SANITARY SEWER BELOW FLOOR (GRADE)
	V	SANITARY VENT
	CW	DOMESTIC COLD WATER
	HW	DOMESTIC HOT WATER
	HWC	DOMESTIC HOT WATER COLD
	SOL	STORM DRAIN LEADER ABOVE FLOOR
	SOL	STORM DRAIN LEADER BELOW FLOOR
	G	NATURAL GAS
		ELBOW UP
		ELBOW DN
		TEE UP
		TEE DN
	GV	GATE VALVE
	CHV	CHECK VALVE
	BV	BALANCE VALVE
		LUBRICATED PLUG COCK
		UNION
	HWS	HEATING WATER SUPPLY
	HWR	HEATING WATER RETURN
		FLEXIBLE DUCT CONNECTION
	SBDD	SINGLE BLADE DAMPER
	TV	TUBING VALVE
	FD	FIRE DAMPER
	CI	SERVICE WEIGHT CAST IRON
	VCP	VITRIFIED CLAY PIPE
	IE	INVERT ELEVATION
	AFF	ABOVE FINISH FLOOR
	R.G.	RETURN AIR GRILLE
	S.D.	SUPPLY AIR DIFFUSER
	S.R.	SUPPLY AIR REGISTER
	E.G.	EXHAUST AIR GRILLE

# EQUIPMENT SCHEDULE

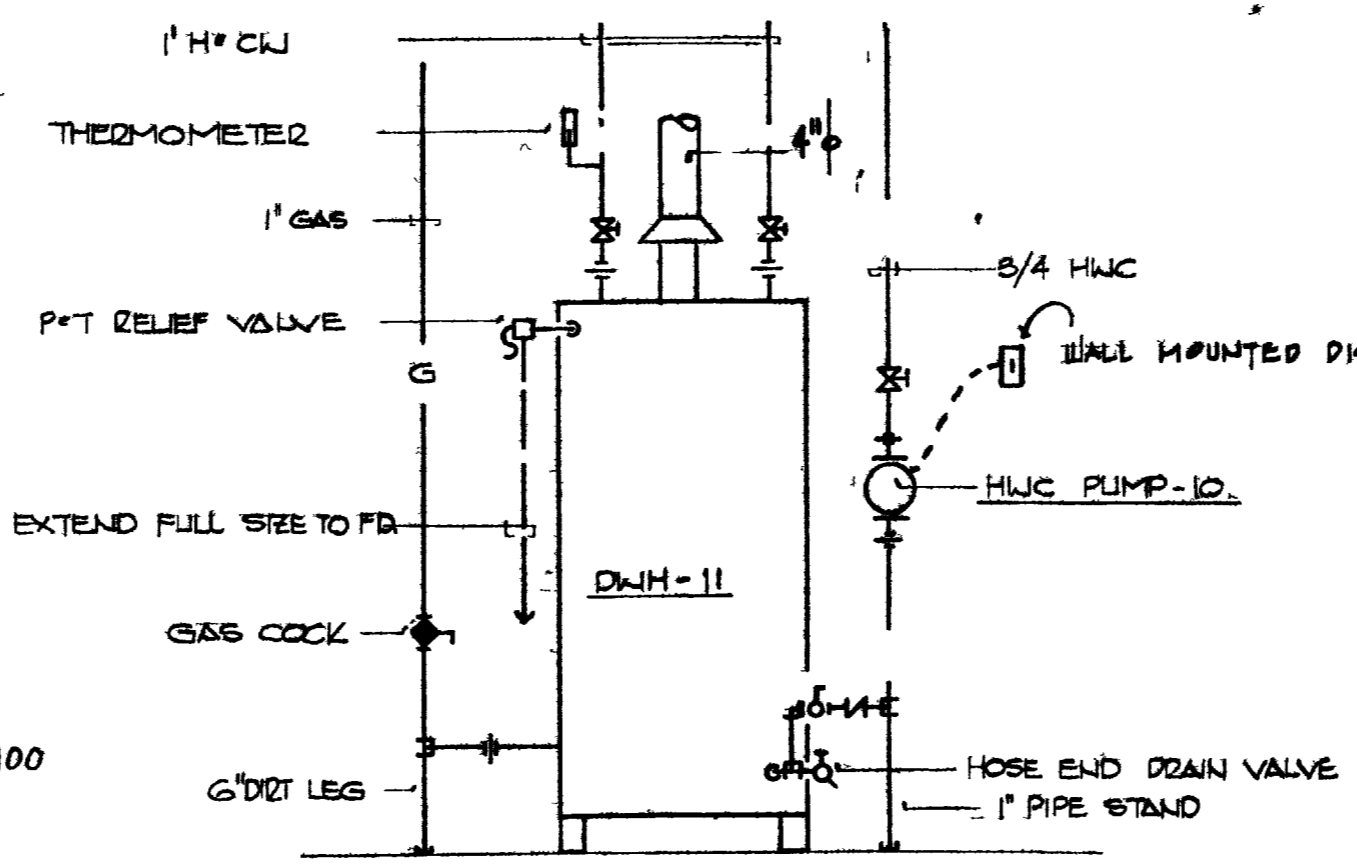
MARK	DESCRIPTION
WC-1	American Standard 2109 056 elongated "Cadet" toilet, elongated siphon jet action bowl, close coupled tank, free standing, vitreous china, 2 bolt caps, Church 5330 063 seat, 3405.016 supply pipe
Lav-2	American Standard 3301 025 "Horizon" self-rimming lavatory, fitting ledge, enameled cast iron, front overflow, 2103 203 Heritage pop-up lavatory faucet, 2303 154 lavatory flexible supply pipes, 4418 026 adjustable "P" trap
Shower-3	Power Flat Commander S-86, 36" x 36" x 82" factory fabricated sandwich wall panels, Commander shower cabinets are erected on a durable one piece, precast Terrazzo floor, #150-AA pressure equalizing valve and Speakman #S-2242 flow restrictor shower head, shower floor to be complete with integral drain and stainless steel strainer PROVIDE SHOWER CURTAIN AND ROD
K Sink-4	American Standard 3258 241 4-hole "Explorer" 20 gauge, double bowl, self-rimming, stainless steel sink, back ledge, sound dampener, 4200 028 Aquarian II kitchen faucet, 2-4331 013 crumb cup strainer drain
A D -5	Josam 34430 Series coated cast iron floor drain, round top, and removable deep sediment bucket, heavy duty grate, cast iron top
A D -6	DELETED
F.D -7	Josam 30000-A Series coated cast iron floor drain, adjustable satin nickel alloy round super-flo strainer
F.P.W.H.-8	Josam 71200 Series cast bronze non-freeze wall hydrant, nozzle type vacuum breaker
H B -9	Chicago faucet Model #952, inside sill faucet with vacuum breaker
Domestic HWC Pump-10	Bell & Gossett Series PR, 3/4" size, 5 gpm @ 17' hd, 1/6 H.P., 115/60/1, all-bronze, controlled by wall mounted toggle switch
DWH-11	State Model AX-100-NRT7-5, 100 gallon storage, 90,000 BTUH input, 75.6 gph recovery @ 100' rise, 82' high x 26" dia, furnish with P & T relief valve, dielectric unions and gate valves on hot and cold water supplies to water heater, 4" flue

UH-15	McQuay Model UDH-080A 62,100 BTUH, 12.0 gpm 10 40 temp drop, 0.81 ft hd 1340 cfm, 1050 rpm, 1/12 hp, lower deflector, 190° EWT Suspend from 4- 3/8" all-thread rods with vibration isolators
UH-16	McQuay Model UHH-056A, 61,000 BTUH, 6.1 gpm, 20 0° temp drop, 2.3 ft hd, 1356 cfm, 1050 rpm, 1/15 hp, 190° EWT Suspend from 4- 3/8" all thread rods with vibration isolators
E F -17	DELETED
E F -18	Thermador "Tradewind" Model VQT-90, 85 cfm @ 0.25" s p, 1150 rpm, 0.55 amps, 49 watts, furnish with #1285 30 minute timer Interlock fan with light switch and timer
Evap Coolers-19	Essicks Model BA4100D-2, 2 speed, 115 volt, 1/3 hp, 4100/2735 cfm, 182 lbs Furnish complete with P110 Essicks recirculating pump, Model 50FVK float valve kit, Model 6PS switch Contractor shall fabricate roof curb Interlock with 6 position switch PROVIDE 4WAY DIRECTIONAL DIFFUSER
BBR-20	Burnham-America Model SS-75 Heatrim, 830 BTUH/lin foot, 190° average water temp, furnish all covers, end caps, etc as required and as shown on Drawings
WH-21	Beacon-Morris Model W-41, 1 gpm @ 0.25 ft hd, 4370 BTUH @ 190° average water temp, 36 cfm, 115/60/1, 0.3 amps, 15 3/4" x 24 1/4" x 4" Control from thermostats as shown on Drawings
KSH-22	Beacon-Morris Model K-41, 1 gpm @ 0.25 ft hd, 4370 BTUH @ 190° average water temp, 36 cfm, 115/60/1, 0.3 amps, 4" x 18" x 14" Control from thermostat as shown on Drawings
Boiler-23	Burnham-America Freedom 6, size 604 260 000 BTUH input, 288,000 BTUH output, 10" flue, 17" long x 28" wide x 56 1/2" high See Piping Detail for accessories. PROVIDE TOP OUTLET DRAFT DIVERTER, AND ELECTRONIC PILOT IGNITION
M W Cir Pump-24	Bell & Gossett Series 60, Model 60-16, Pump size 1 1/2 A, 3/4 h p 40 gpm @ 27' head
E F -25	Powerline Model No 200 BEL8C, 1/4 h p, 730 rpm fan, 3822 fpm tip speed, 1825 cfm @ 1/2" s p Furnish with pre-fab curb, back draft dampers and bird screen Interlock with Carbon Monoxide Detection Unit
Carbon Monoxide Detection Unit-26	Aeme Model 01-01E-120, 120V/60/1, 0.5 amps Complete with CR30-120 relay to control ER-25, integral sensor and throw-away cans filled with calibrated CO gas for calibration checks

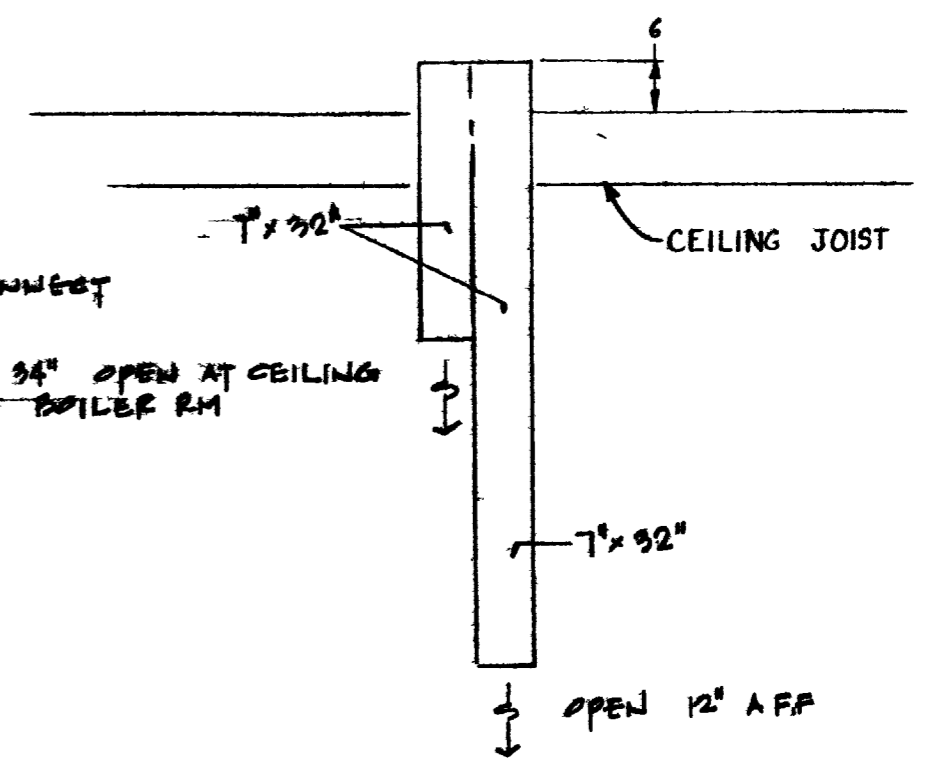
NOTE MECHANICAL CONTRACTOR SEE ARCHITECTURAL DRAWING SHEET A-5 FOR ROTARY ROOF VENTILATORS TO BE PROVIDED AND INSTALLED BY THE SHEET METAL CONTRACTOR



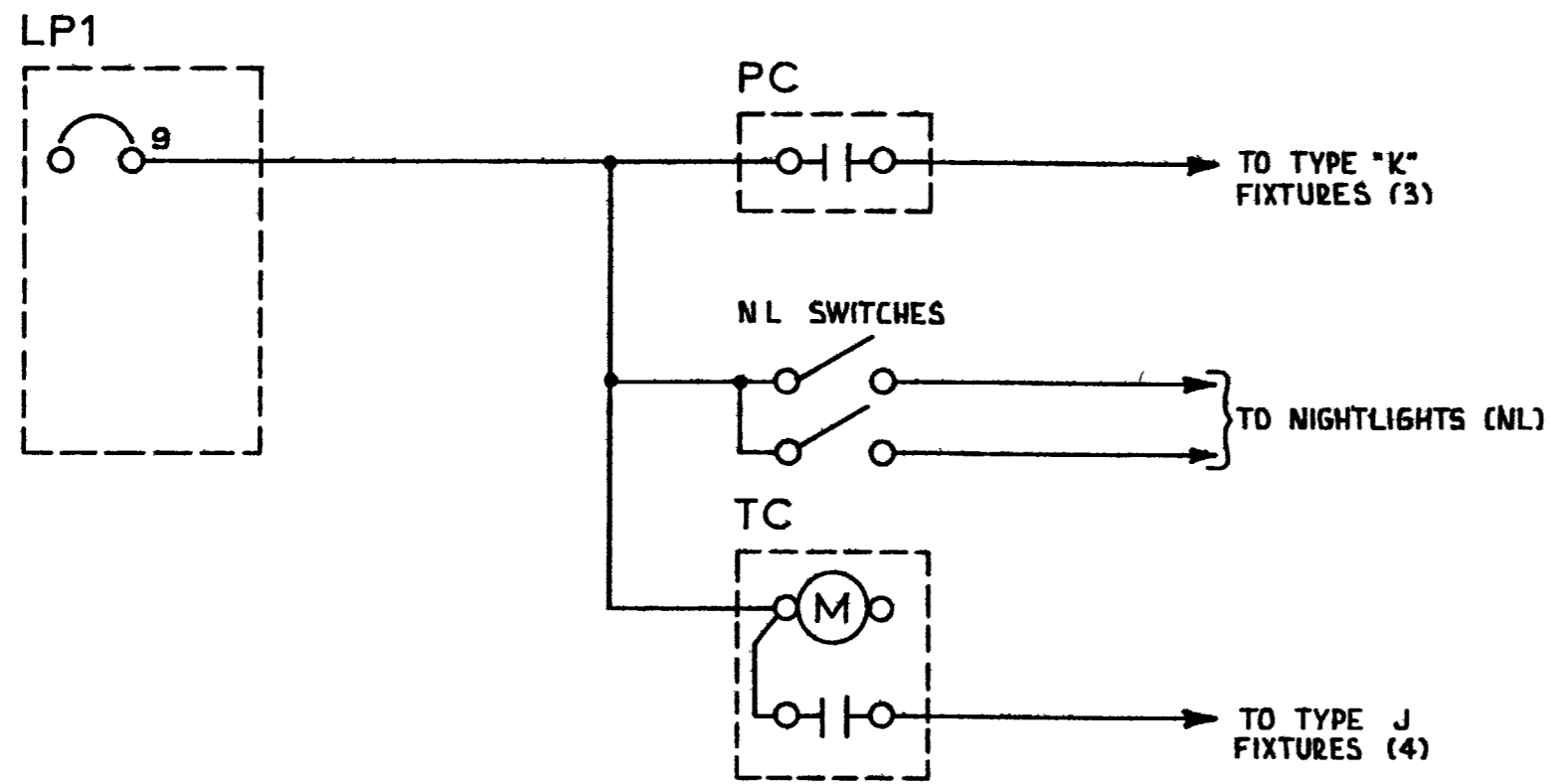
BACKWATER VALVE INSTALLATION DETAIL  
NO SCALE



WATER HEATER DETAIL  
NO SCALE



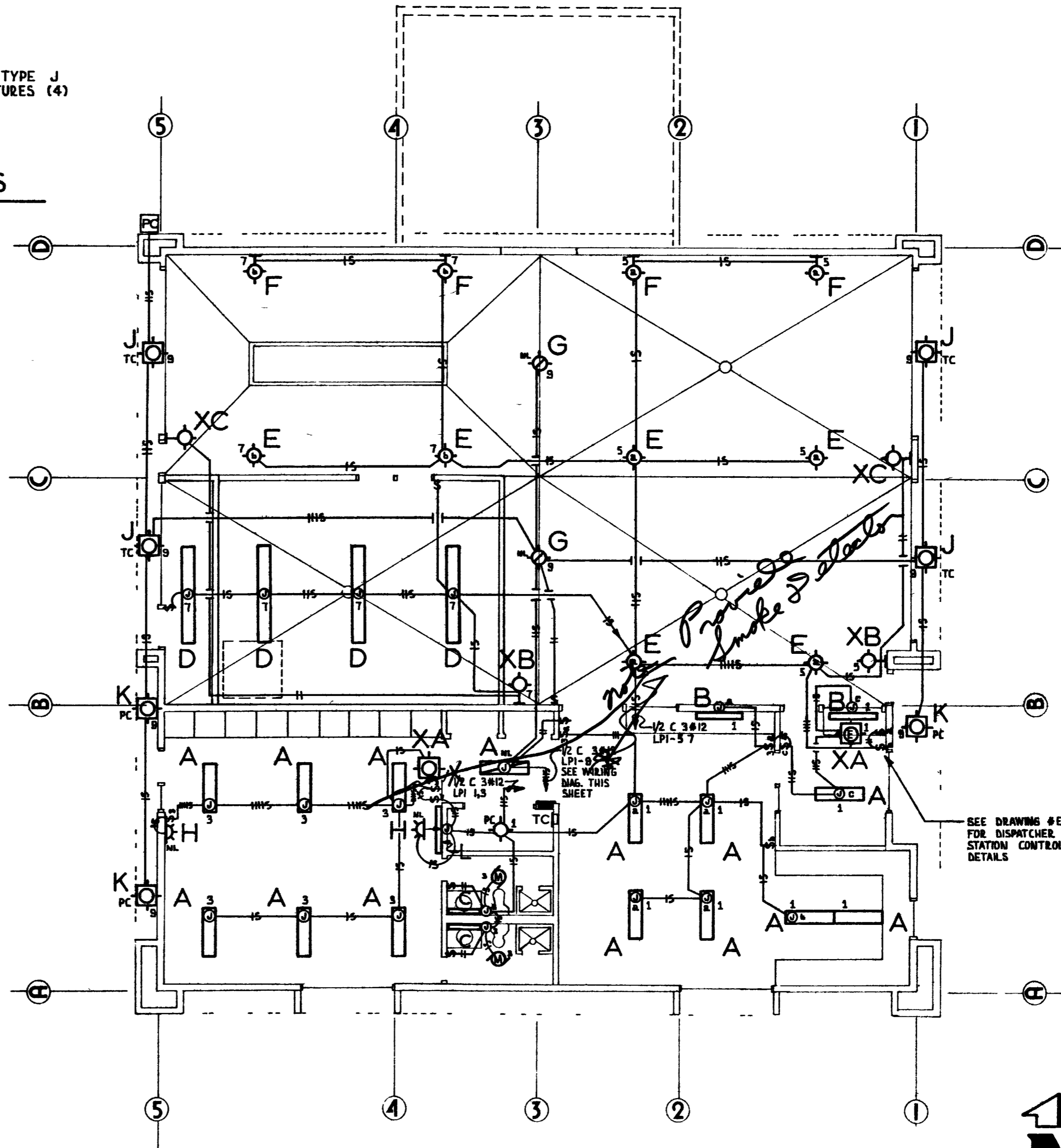
COMBUSTION AIR INTAKE  
NOTED



(NEUTRALS NOT SHOWN FOR CLARITY)

### EXTERIOR & NIGHTLIGHTING CONTROLS

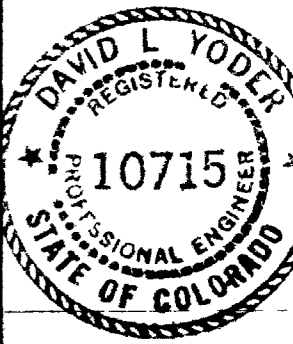
NTS



FLOOR PLAN 1/8"=1'-0" LIGHTING



REVISIONS	BY



4 FIRE STATION

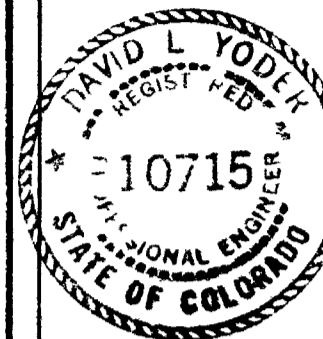
DILLON-HUNT ARCHITECTURE and PROJECT MANAGEMENT  
2004 north 12th grand junction co

Date	4/5/79
Scale	AS NOTED
Drawn	FRD
Sheet	E 1
Of 4	Sheets

REVISIONS	BY

NOTES

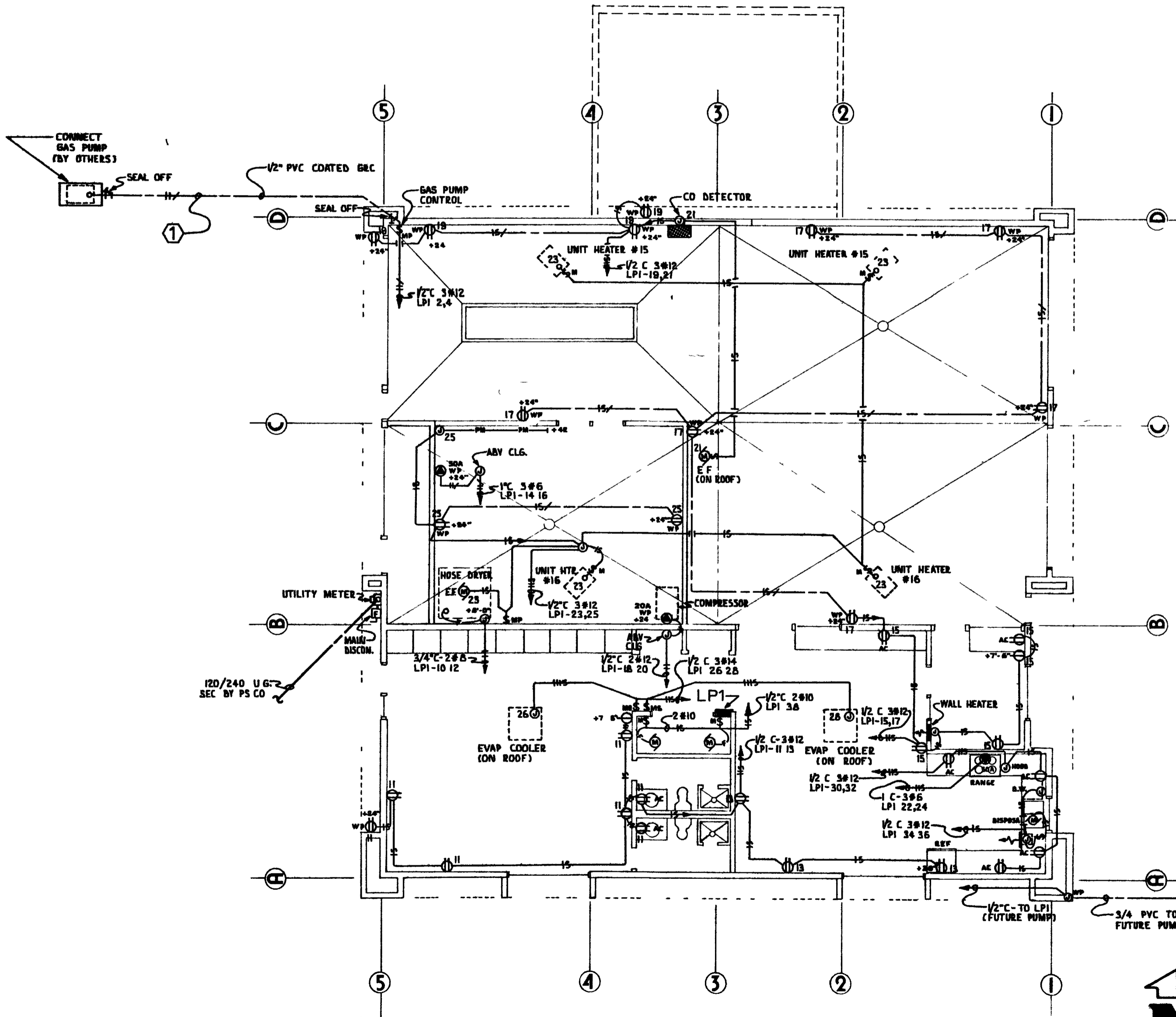
- ① ALL WIRING TO GASOLINE DISPENSING AREA SHALL COMPLY WITH ARTICLE 514 N.E.C



4

F I R E S T A T I O N

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FLOOR PLAN 1/8" = 1'-0" POWER

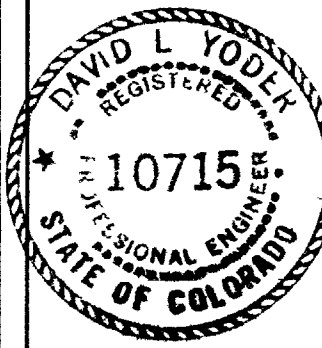


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Scale	AS NOTED
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Sheet	E 2
Of	4 Sheets

NOTES

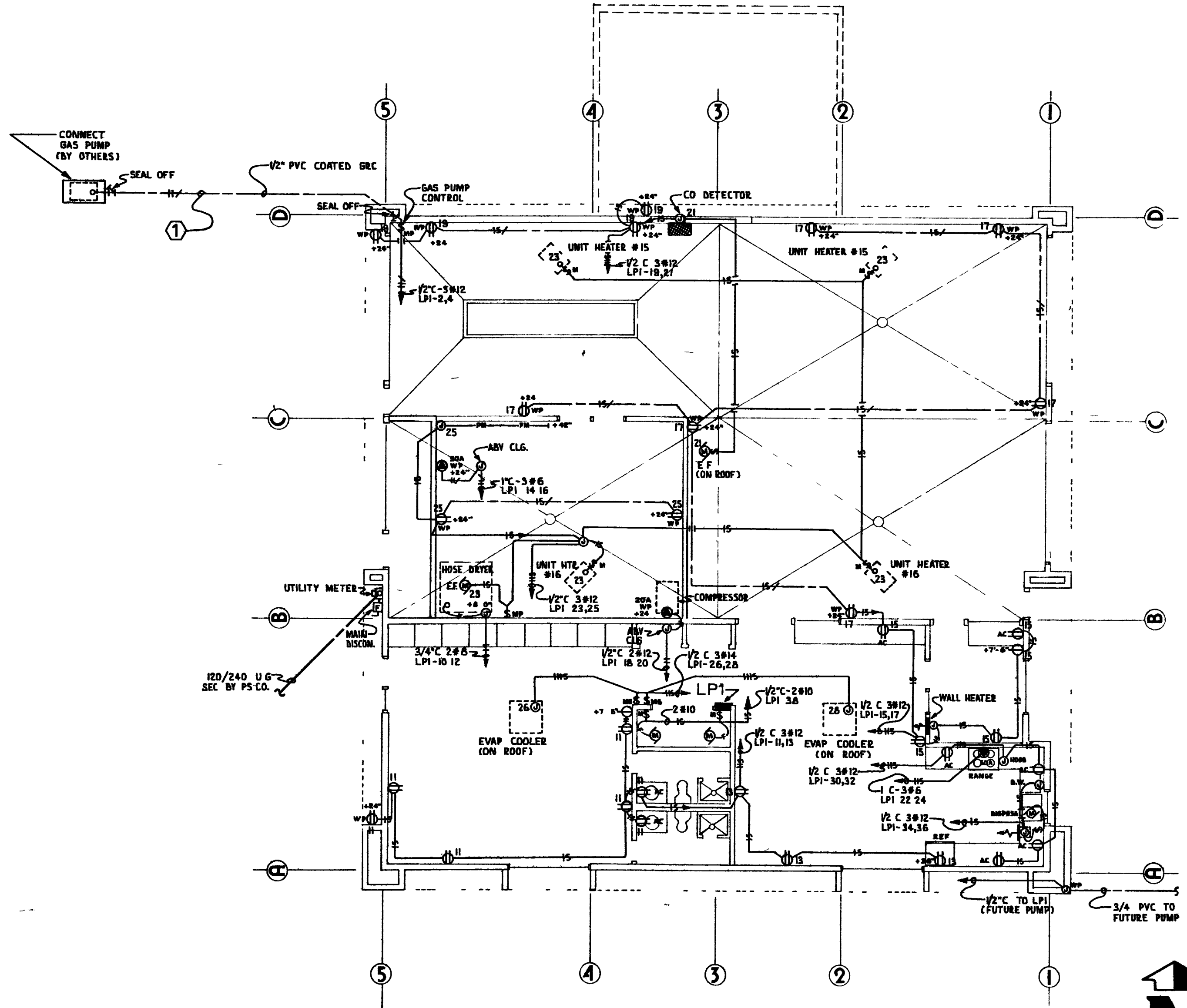
① ALL WIRING TO GASOLINE DISPENSING AREA SHALL COMPLY WITH ARTICLE 514 N.E.C



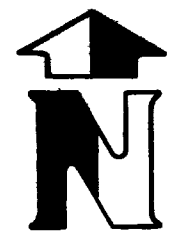
4

FIRE STATION

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 ARCHITECTURE and  
 PROJECT MANAGEMENT  
 2004 north 12th  
 grand junction co



FLOOR PLAN 1/8" = 1'-0" POWER



Date 4/5/79

Scale AS NOTED

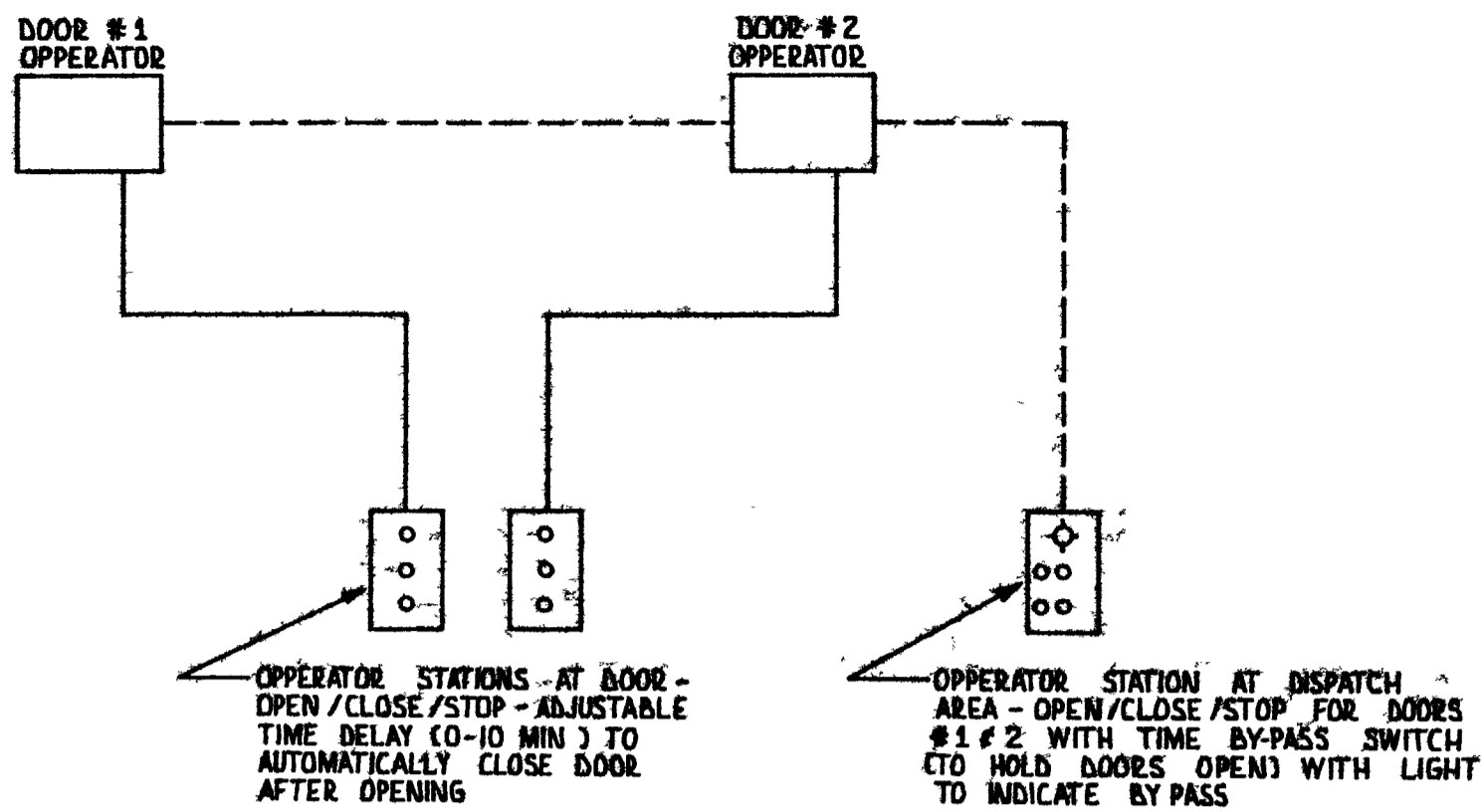
Drawn F.R.D.

Job

Sheet

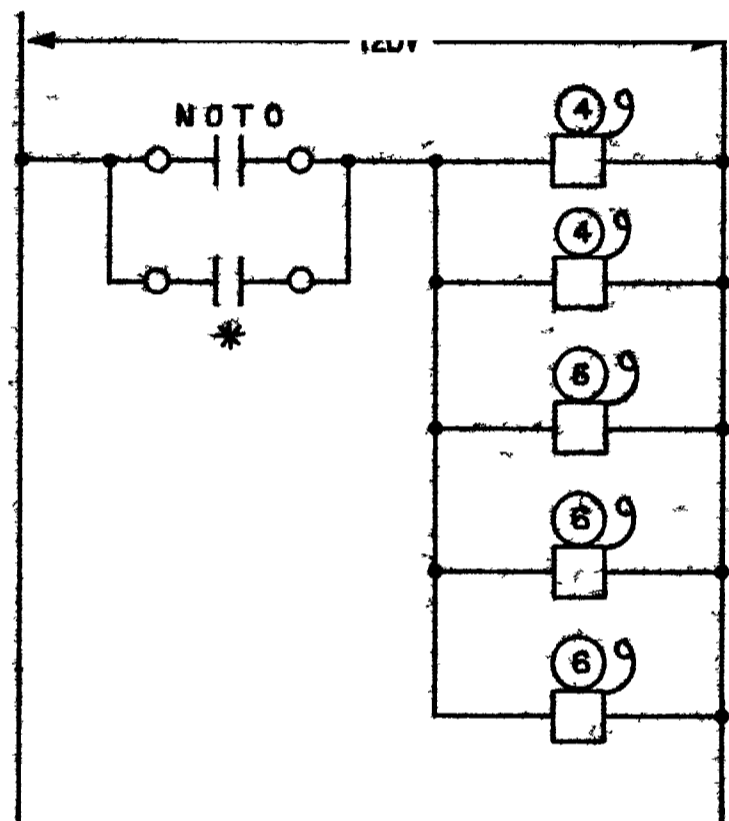
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Of 4 Sheets



**OVERHEAD DOOR CONTROL - BLOCK DIAGRAM**

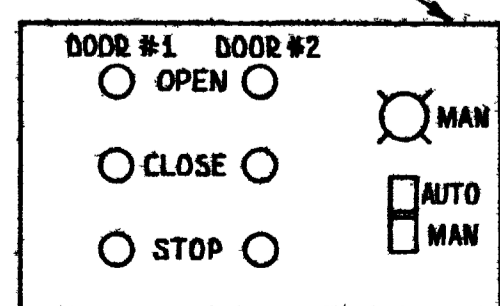
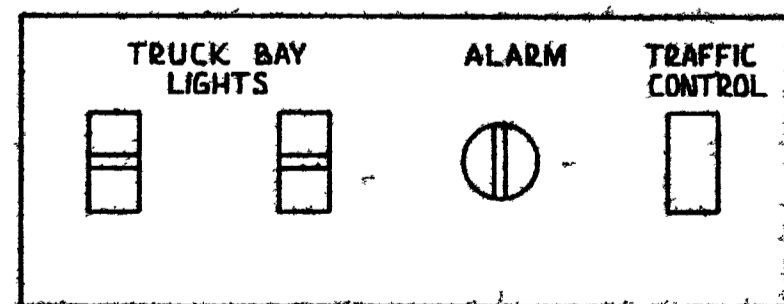
NTS



**ALARM SYSTEM DIAGRAM**

NTS

\* TELEPHONE ACTUATED DELAY N.O. DRY CNTX 5 AMP RATED



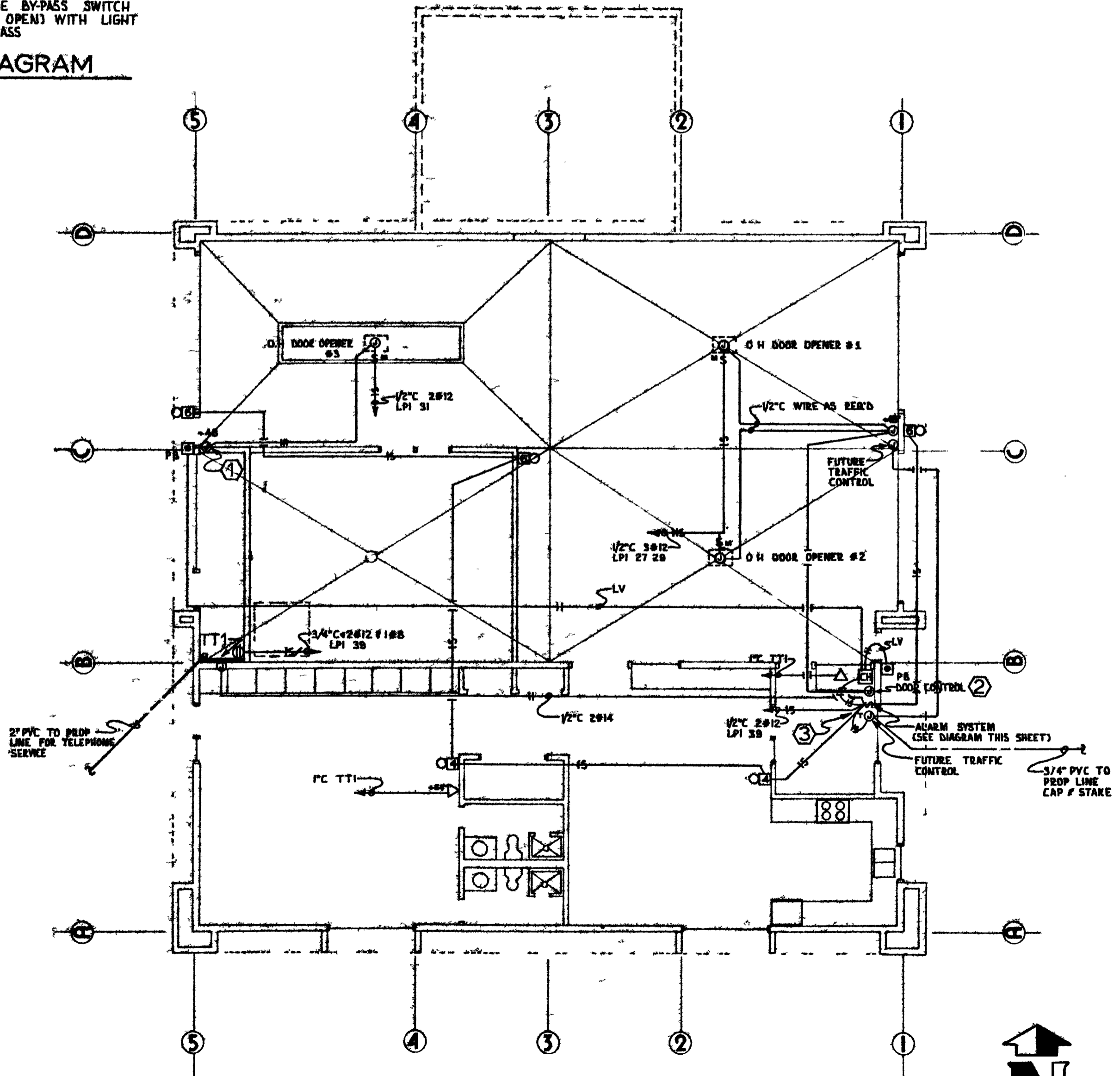
PLATES TO BE ENGRAVED OR PROVIDE STD PLATES WITH ENGRAVED LAMACOD NAME PLATES

**DISPATCHER CONTROL STATION**

NTS

**NOTES**

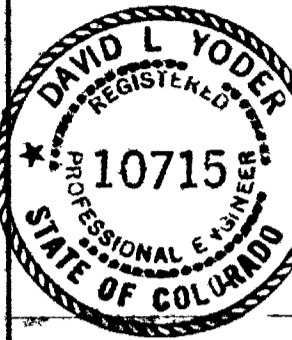
- ① PUSH BUTTON STATION FOR OPEN / CLOSE / STOP
- ② AUTO DOOR CONTROL - SEE BLOCK DIAGRAM THIS DRAWING
- ③ ALL CONTROL DEVICES TO BE IN COMMON LOCATION SEE DIAGRAM THIS DRAWING



**FLOOR PLAN 1/8" = 1 0" SYSTEMS**



REVISIONS	BY



4 FIRE STATION

DILLON HUNT ARCHITECTURE and PROJECT MANAGEMENT  
2004 north 12th grand junction co

Date	4/5/79
Scale	AS NOTED
Drawn	FBD
Job	
Sheet	E 3
Of 4 Sheets	

# ELECTRICAL SYMBOLS

NOTE: SUBSCRIPTS ARE ADDED TO SYMBOL TO DENOTE SPECIAL VARIATIONS OF STANDARD EQUIPMENT (SK DENOTES KEY OPERATED SWITCH). SYMBOLS ARE GENERAL & MAY OR MAY NOT BE FOUND ON EACH DRAWING.

- CONDUIT RUN CONCEALED IN CEILING OR WALL
- CONDUIT RUN CONCEALED IN FLOOR OR UNDERGROUND
- CONDUIT RUN EXPOSED
- CONDUIT TURNING UP
- CONDUIT TURNING DOWN
- LOW VOLTAGE WIRING
- PLUMBOLD
- FLEXIBLE METALIC CONDUIT
- NUMBER OF HOT CONDUCTORS
- NUMBER OF NEUTRAL CONDUCTORS
- NUMBER OF GROUND CONDUCTORS
- CEILING LIGHT SURFACE
- CEILING LIGHT RECESSED
- CEILING LIGHT RECESSED WALL WASHER
- WALL LIGHT SURFACE
- FLUORESCENT FIXTURE SURFACE
- FLUORESCENT STRIP
- LIGHT TRACK
- FLUORESCENT FIXTURE RECESSED
- EXIT LIGHT
- CLOCK OUTLET
- DUPLEX CONVENIENCE OUTLET WALL MOUNT
- WP WEATHERPROOF
- GFI GROUND FAULT INTERRUPTER
- CONVENIENCE OUTLET IN FLOOR
- PHONE OUTLET WALL
- PHONE OUTLET FLOOR
- SPECIAL PURPOSE OUTLET WALL
- JUNCTION BOX
- TELEVISION OUTLET
- SINGLE POLE SWITCH
- DOUBLE POLE SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- SWITCH FOR LOW VOLTAGE SYSTEM
- SWITCH W/PILOT LIGHT
- MANUAL MOTOR STARTING SWITCH
- TIMER SWITCH
- KEY OPERATED SWITCH
- DIMMER SWITCH
- MAGNETIC MOTOR SWITCH
- MAGNETIC CONTACTOR
- SAFETY SWITCH-FUSIBLE (SIZE & NO. OF POLES & FUZE SIZE INDICATED)
- SAFETY SWITCH NON-FUSIBLE (SIZE & NO. OF POLES INDICATED)
- MOTOR
- EXHAUST FAN
- TIME CLOCK
- INTERCOM OUTLET
- MICROPHONE OUTLET
- SPEAKER OUTLET
- BRANCH CIRCUIT PANEL
- POWER PANEL
- ELECTRIC SERVICE ENTRANCE EQUIPMENT
- TELEPHONE TERMINAL CABINET
- BELL
- PUSH BUTTON
- BUZZER
- CHIME
- FIRE ALARM STATION
- FIRE ALARM/THERMAL DETECTOR
- FIRE ALARM/IONIZATION DETECTOR
- FIRE ALARM HORN
- SELF CONTAINED SMOKE DETECTOR
- THERMOSTAT
- BLANKED OUTLET
- ELECTRIC BASEBOARD HEATER
- ELECTRIC UNIT HEATER
- ELECTRIC DUCT HEATER
- ELECTRIC TOE SPACE HEATER
- WALL OR STEP LIGHT
- FLOODLIGHT
- POLE LIGHT SINGLE
- POLE LIGHT MULTIPLE

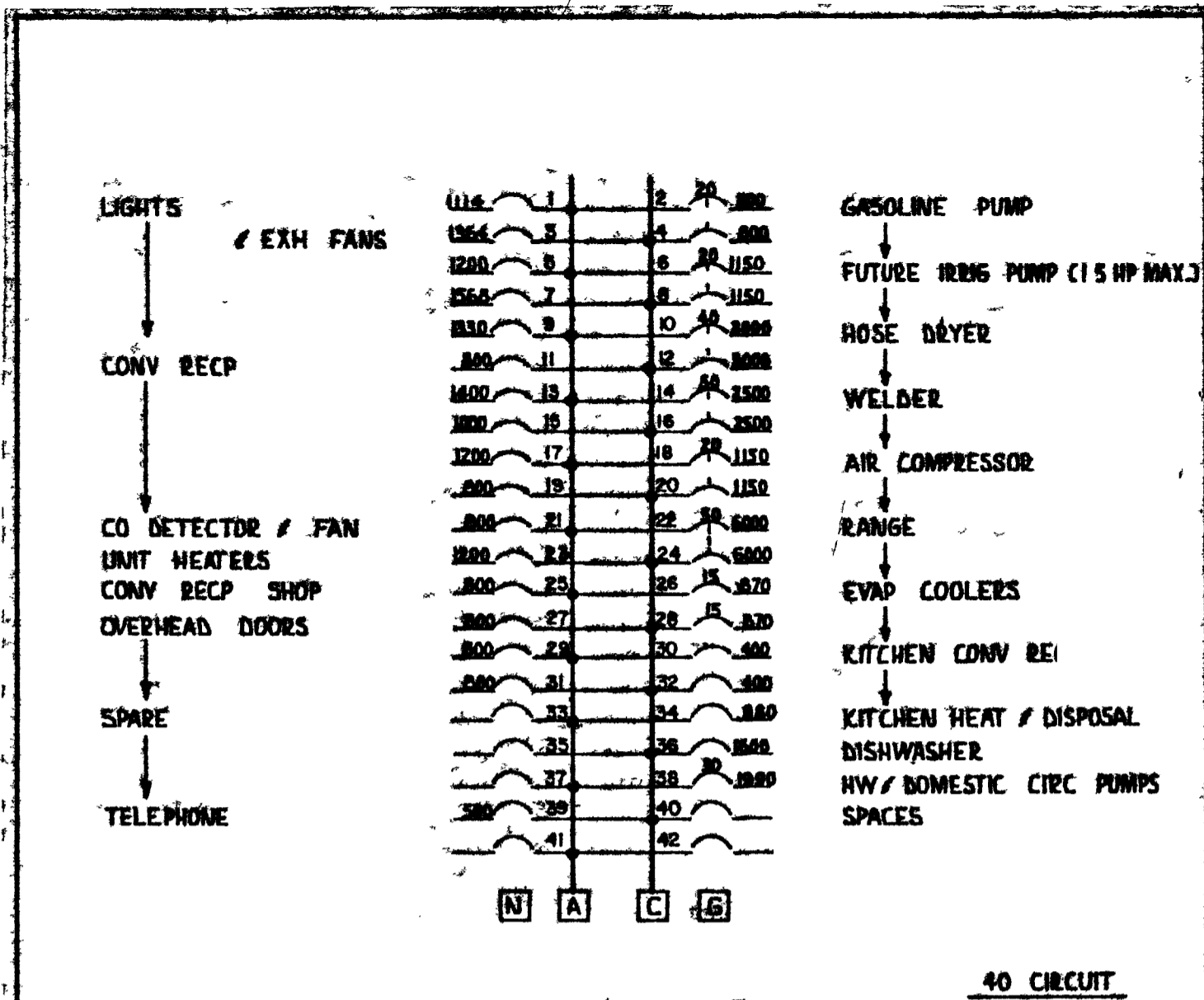
# FIXTURE SCHEDULE

KEY	FIXTURE TYPE	INSTALLATION	MANUFACTURE	MANUFACTURE NO	FINISH	NO	LAMP TYPE	NOTES
A	FLUORESCENT	SURF CEILING	LITHONIA	SC-240 SCA	STD	2	F40/WW	
B		SURF. WALL	ALKCO	1245		2	F40/WW	
C				1235		2	F30/WW	
D		SURF CEILING	LITHONIA	BTAF 240-50		4	F40/WW	USE SWIVEL STEM HANGERS 10" O'AFF
E	HI PRESS SOD		NOLOPHANE	1964 55 120		1	LU 150	USE SWIVEL STEM HANGERS 12" O'AFF
F		SURF WALL		1962 55 120		1	LU 150	USE # 05007 WALL BRACKET
G		SURF CEILING		1944-120		1	LU 70	USE SWIVEL STEM HANGERS 12" O'AFF
H	INCANDESCENT	RECESSED WALL	COLE	T1506		1	656	
J	HI PRESS SOD	RECESSED CLG	HALO	M 1482		1	LU150	
K				M-1480		1	LU 70	
L	FLUORESCENT	SURF WALL	ALKCO	1225	STD	2	F20/WALL	SEE ARCH DETAIL
M								
N								
P								
R								
S								
XA	EMERGENCY LIGHT	SURF CEILING	SURELITES	4CH 2	STD		W/UNIT	
XB		SURF WALL		XR-7			W/UNIT	
XC				D6 T			W/UNIT	

# DEVICE & EQUIP SCHEDULE

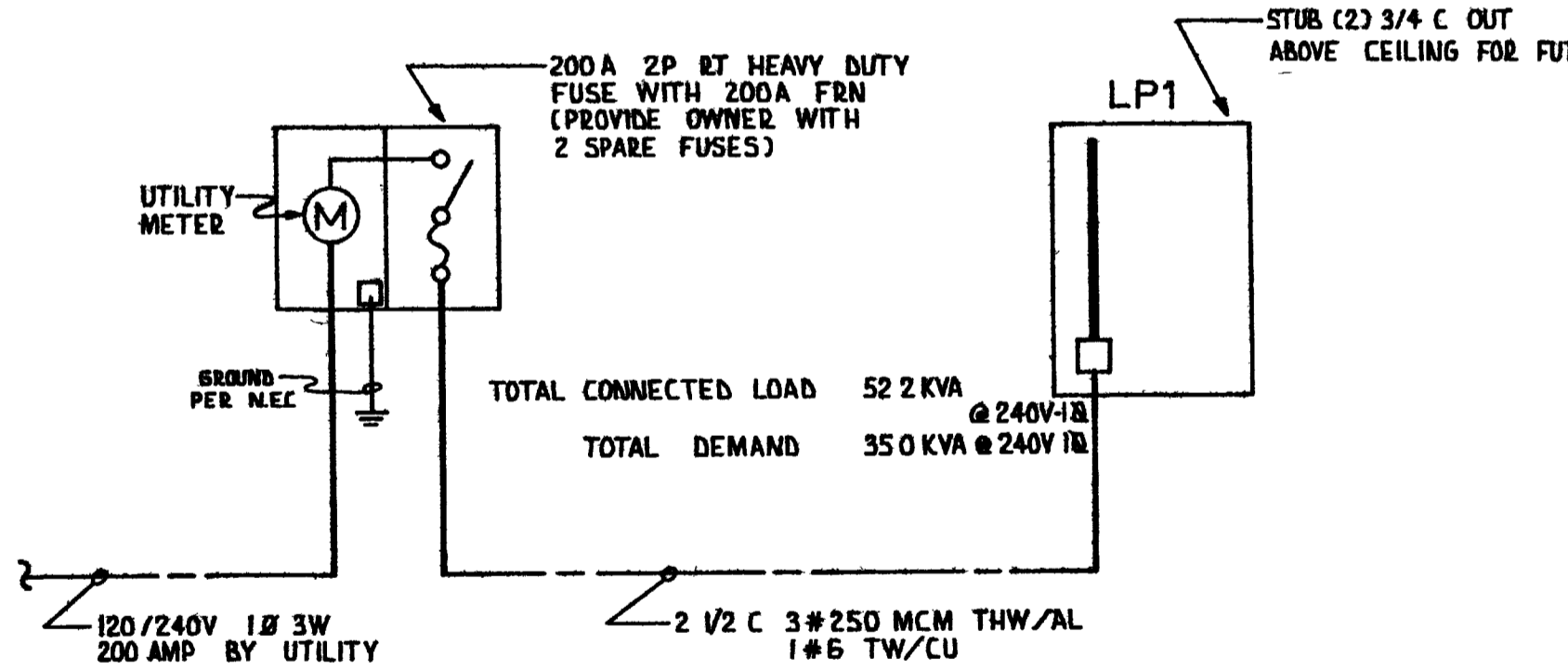
KEY	MFG & NUMBER	PLATE	NOTES
\$	LEVITON 5521 2I	LEVITON 80501 I	
\$	5523-2I		
\$	5014 I	LEVITON 80503-1	
\$	5014	4926	
⊙			AIR COMPRESSOR
⊙			WELDER
⊙	LEVITON 278	LEVITON 4944	RANGE
\$	BY MECH	EVAP COOLER	(MFR)
\$	80.0 CLASS 2510	2 POLE WITH ON PILOT LIGHT	(CMP)
\$		SINGLE POLE	(CM)
⊠	EDWARDS C 112		KIT W/XPWR
⊠			
⊠	340-4NS		ALARM 120V
⊠	340 6NS		
\$	MARK TIME 90004		
TC	TORK 7200		
PC	P M T 15		

VERIFY WITH OWNER

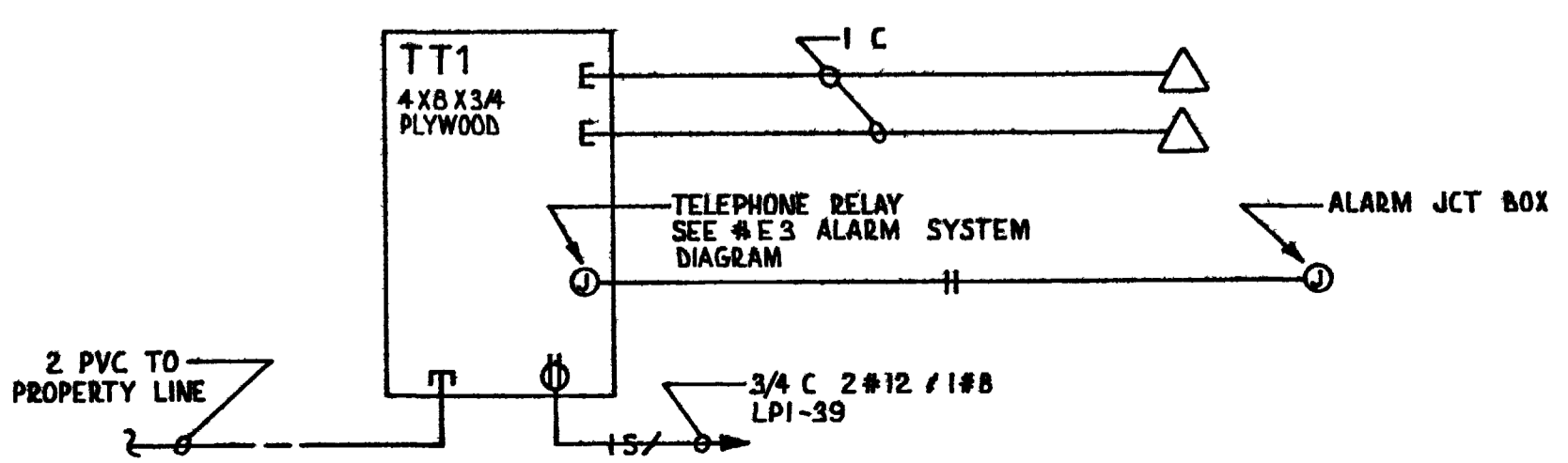


LOAD IN VA		DESCRIPTION	
⊙ A	25494	MFG GE	TYPE MTO
⊙ C	26692	VOLTAGE 120/240	PHASE
TOTAL = 52186		WIRE 3	BUS 225
		MAIN C/B	TOP <input type="checkbox"/> BOTTOM <input type="checkbox"/>
		M L O 225	TOP <input type="checkbox"/> BOTTOM <input checked="" type="checkbox"/>
		MOUNTING, SURFACE <input type="checkbox"/> FLUSH <input checked="" type="checkbox"/>	
WITH GRND BUS BRANCH BREAKERS 20A 1P EXCEPT AS NOTED			

C.E.C LIGHTING BUDGET 6587 W  
CONNECTED LIGHTING LOAD 5115 W



POWER - ONE LINE DIAGRAM



TELEPHONE - ONE LINE DIAGRAM

REVISIONS

DAVID L YODER  
REGISTERED PROFESSIONAL ENGINEER  
10715  
STATE OF COLORADO

FIRE STATION

DILLON HUNT ARCHITECTURE and PROJECT MANAGEMENT  
2004 north 12th grand junction co

Date 4/5/79  
Scale NONE  
Drawn F.R.D.  
Job  
Sheet  
**E 4**  
Of 4 Sheets

09101114.tif

# MATERIAL AND SYMBOL LEGENDS

SYMBOL	DESCRIPTION	ABBREVIATION
	BRICK	BRK.
	CONCRETE BLOCK	CONC. BLK.
	CONCRETE	CONC.
	RIGID INSULATION	RIGID INSUL.
	PLYWOOD	PLY.
	GYPSUM BOARD	GYP. BRD.
	BATT INSULATION	BATT INSUL.
	FINISH LUMBER	FIN. LMBR.
	GLASS	GL.
	WOOD BLOCKING	BLKG.
	STEEL	ST..

	WINDOW NUMBER		GENERAL NOTE
	DOOR NUMBER		SYSTEMS NOTE
	ELEV. NUMBER ROOM ELEVATION SHEET NUMBER		ELEVATION T.O.W. 132'-0"
	SECTION NUMBER BUILDING SECTION SHEET NUMBER		DETAIL NUMBER DETAIL SHEET NUMBER

PL	PROPERTY LINE
MO	MASONRY OPENING
RO	ROUGH OPENING
AFF	ABOVE FINISHED FLOOR
TOS	TOP OF STEEL
TOC	TOP OF CONCRETE
TOB	TOP OF BEARING
TOP	TOP OF PARAPET
TOW	TOP OF WALL
TOM	TOP OF MASONRY

Attachment 1.b - 1993 Addition

## PROJECT CITY OF GRAND JUNCTION FIRE STATION NO. 14 ADDITION

### DRAWING INDEX

#### GENERAL

T1 TITLE SHEET

#### ARCHITECTURAL

A1 SITE/DEMO PLAN  
A2 FOUNDATION PLAN/BUILDING SECTION  
A3 FLOOR PLAN  
A4 EXTERIOR ELEVATIONS  
A5 DETAILS

#### MECHANICAL/ELECTRICAL

E1 ELECTRICAL DEMO/RECONSTRUCT PLANS  
M1 MECHANICAL DEMO/RECONSTRUCT PLANS

### DESIGN TEAM

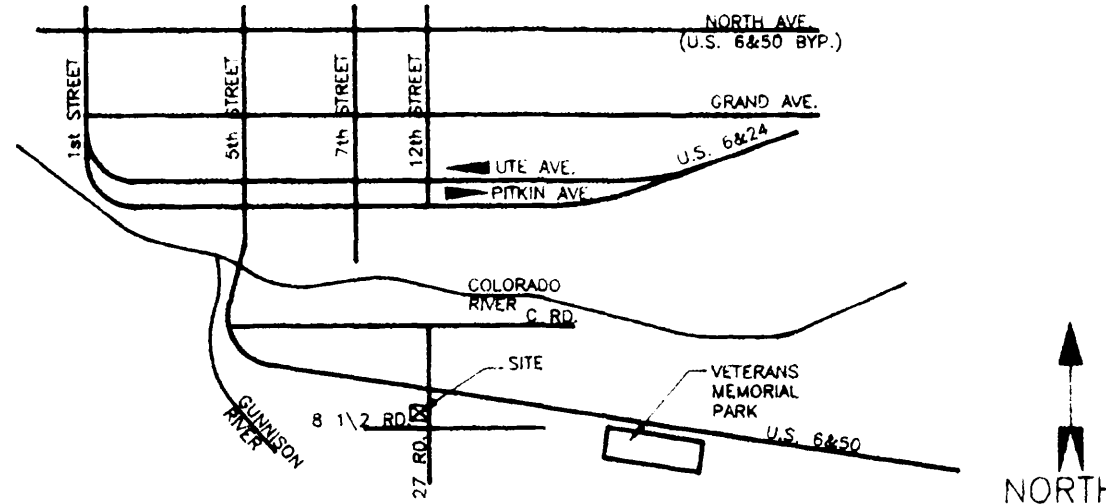
#### ARCHITECT

DILLON-HUNT P.C., ARCHITECTURE & FACILITY MANAGEMENT  
804 GRAND AVENUE  
GRAND JUNCTION, COLORADO 81501

(303) 245-7383  
(303) 245-7437 - FAX

### VICINITY MAP

NO SCALE



## GENERAL NOTES

- These drawings, containing Sheets T1, A1, A2, A3, A4, A5, E1, and M1 were prepared as general design and layout documents containing the minimum amount of information required to obtain a building permit to construct the project. It is the intent and desire of the Owner to work with the General Contractor on the site layout, grading, drainage, landscaping, and details for construction. It is the responsibility of the Contractor to provide the Owner with a complete checklist of the items to be provided and to provide the Owner with cut-sheets, costs, written descriptions, and all other information required for the Owner's approval, including cost comparisons for alternatives. The contractor shall provide the owner with a lump sum cost for construction, including all permits, fees, and insurance, and if accepted by the Owner, enter into a contract for construction. The form of contract shall be AIA Document 101, 1987 Edition. Provide a separate cost for Alternate 1 which is to remove an existing window to install a sliding glass door and make any necessary mechanical and electrical system modifications. The window is to be re-installed in the addition.
- All work is to be completed according to the requirements of the intent of the Owner and all local codes and ordinances. The General Conditions of the Contract for Construction, AIA Document A201, 1987 Edition shall apply. The role of the Architect as described therein under Article 4 shall be incorporated only as requested by the Owner. Insurance coverage shall be provided at the minimum limits required by law or as requested by the Owner if greater than the minimum. Provide the Owner with a Certificate of Insurance showing the coverage and limits.
- The Contractor is to be responsible for the sequencing of the work and is to advise the Owner of the schedule of events and provide the Owner with sufficient detailed information for a complete understanding and review of the work prior to proceeding with the next phase of the work. The Contractor is to work with the Owner to establish final location of such items as clean-outs, electrical outlets, fixtures, panels, switches and security systems, telephone and cable TV jacks, etc.
- It is the intent of the Owner to have a total and complete project upon completion of the work. A general description of the work is as follows:
  - Provide for all general provisions as described in the General Conditions (AIA Document A201, 1987).
  - Provide complete materials and methods for building stake-out, site clearing, excavation backfill, final grading and drainage, and final clean-up.
  - Provide complete materials and methods for construction of the concrete footing and stem wall foundation, including testing and perimeter drainage systems and compacted fill underslabs as described on the drawings.
  - Provide complete materials and methods for rough carpentry, finish carpentry, and cabinet work, including all wood sheling, hardware, accessories, blocking, crowspace and attic access doors.
  - Provide complete materials and methods for roofing, and roof flashing, including eaves, ridge, and valley flashing, attic vents, and flashing of all mechanical/electrical roof penetrations.
  - Provide complete materials and methods for insulation, including R-19 batts in the exterior walls, R-40 batts in the roof, and a 6 mil plastic vapor barrier on the exterior walls and ceilings.
  - Provide complete materials and methods for attic ventilation as required by code.
  - Provide complete materials and methods for installation of the exterior synthetic stucco system equal to DriVet or R-wall systems.
  - Provide complete materials and methods for installation of doors and windows, including all necessary hardware, casing, thresholds, weather-stripping and exterior flashing.
  - Provide complete materials and methods for installation and finish of 5/8" gypsum wallboard, painting, and floor coverings.
  - Provide complete materials and methods for heating, cooling, exhaust, and plumbing systems as shown on the drawings and selected by the Owner, including utility connections and extensions from supply sources. Provide the Owner with a complete set of as-built drawings on each system and all operational/maintenance manuals and guarantees and warranties. The Owner will provide copies of the floor plan for preparation of the as-built drawings.
- Provide complete materials and methods for the electrical service and distribution system as shown on the drawings and selected by the Owner, including outlets, switches, lights, security system, telephone and cable TV jacks. All items and locations are to be as selected by the Owner. Coordinate all electrical service and wiring requirements with Mechanical Contractor. Provide a complete set of as-built drawings for the entire system. The Owner will provide a spec for preparation of the as-built drawings.
- Live Loads Used in Design:
  - Roof-----30 PSF
  - Floor-----40 PSF
  - Wind-----1988 UBC
  - Seismic-----Zone 1
  - Foundation design is based on an assumed allowable soil bearing capacity of 1,000 PSF.
  - A qualified Soils Engineer shall verify bearing capacity prior to any construction.
- Concrete:
  - All concrete shall develop 3000 PSI compressive strength in 28 days.
  - All reinforcing shall conform to ASTM A615, Grade 60, except dowels to slabs on grade may be Grade 40.
  - No splices of reinforcement shall be made, except as detailed or authorized by the Structural Engineer. Lap splices, where permitted, shall be a minimum of 36 bar diameters. Make all bars continuous around corners.
  - Stagger splices a minimum of 4'-0" for top and bottom continuous bars in foundations, unless otherwise shown or noted.
  - Detail bars in accordance with ACI Detailing Manual and ACI Building Code Requirements for Reinforced Concrete, latest editions.
  - Provide all accessories necessary to support reinforcing at positions shown on the drawings.
  - Place 2-#5 (one each face) with 2'-0" projection around all openings in concrete, unless otherwise shown or noted.
  - All construction joints shall be as detailed or as approved.
- Wire fabric reinforcement must lap one full mesh +2" at side and end laps and shall be tied together and all fabric is to be supported on chairs.
- Steel:
  - All structural steel shall conform to ASTM A36, except pipe columns which shall conform to ASTM A53 (Grade B) or A501, latest editions.
  - Structural steel shall be detailed and fabricated in accordance with latest provisions of the AISC Manual of Steel Construction.
  - All welders shall have evidence of passing the AWS Standard Qualification Tests.
  - Use 3/4" diameter bolts (A307 or welded equivalent) for all connections, unless otherwise shown or noted.
  - See drawings for nailer holes or other holes required in steel members.
- Wood:
  - All joists, rafters, beams, and headers 2 to 4 inches thick shall be Douglas Fir-Larch No. 2 and better with Fb = 1,250 PSI and E = 1,700,000 PSI.
  - Studs and plates shall be Douglas Fir-Larch in stud grade with Fb = 800 PSI and E = 1,500,000 PSI.
  - All trusses are to be pre-engineered by the supplier. Provide shop drawings for approval prior to ordering.

## SYSTEMS NOTES

#### WALL SYSTEMS

W-1 5/8" GWB  
2x4 STUD  
5/8" GWB

W-3 2x6 STUD  
1/2" GYP. SHEATHING  
1 1/2" FOAM  
STUCCO FINISH - TO MATCH EXISTING

W-2 5/8" GWB  
2x6 STUD  
6" INSULATION  
1/2" GYP. SHEATHING  
1 1/2" FOAM  
STUCCO FINISH - TO MATCH EXISTING

W-4 STUCCO FINISH - TO MATCH EXISTING  
1 1/2" FOAM  
2x6 STUD  
1/2" GYP. SHEATHING  
1 1/2" FOAM  
STUCCO FINISH - TO MATCH EXISTING

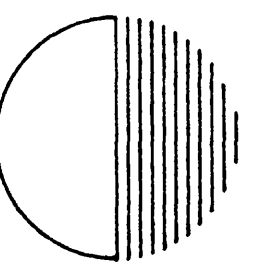
#### CEILING SYSTEM

C-1 PRE-ENGINEERED TRUSSES  
1/2" GWB

#### ROOF SYSTEM

R-1 ASPHALT SHINGLES - TO MATCH EXISTING  
ROOFING PAPER  
1/2" PWD. SHEATHING  
PRE-ENGINEERED TRUSSES

SET NO.



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PROJECT PHASE

CD

APPROVED BY:

PROJECT NO. 9302

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TIME ISSUED: 08:48

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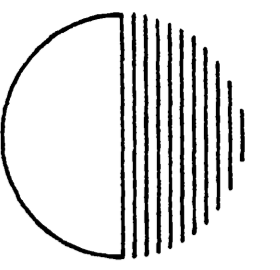
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GRAND JUNCTION #14  
FIRE STATION #14  
ADDITION

SHEET NO.

T1

OF 1



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PROJECT PHASE

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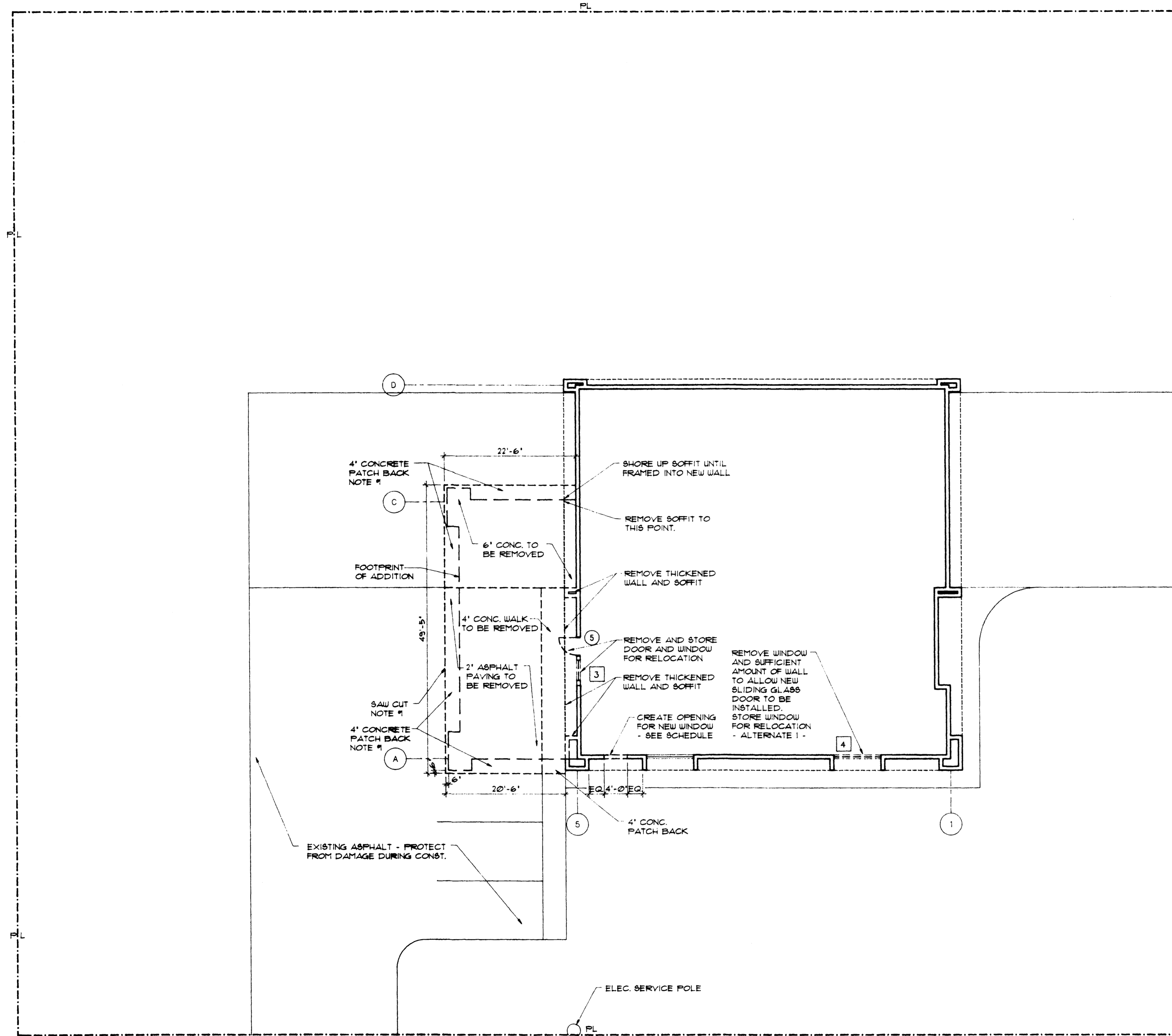
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GRAND JUNCTION  
FIRE STATION #14  
ADDITION

SHEET NO.

A1

OF 5

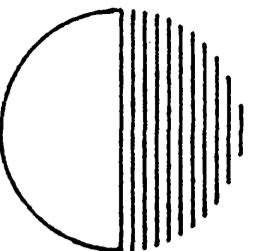


**1** **A1** **SITE/DEMO PLAN**  
SCALE: 1"=10'-0"

NORTH

NOTE:  
PROVIDE ISOLATION JOINT MATERIAL BETWEEN ALL NEW CONCRETE AND EXISTING ASPHALT OR CONCRETE.





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PROJECT PHASE

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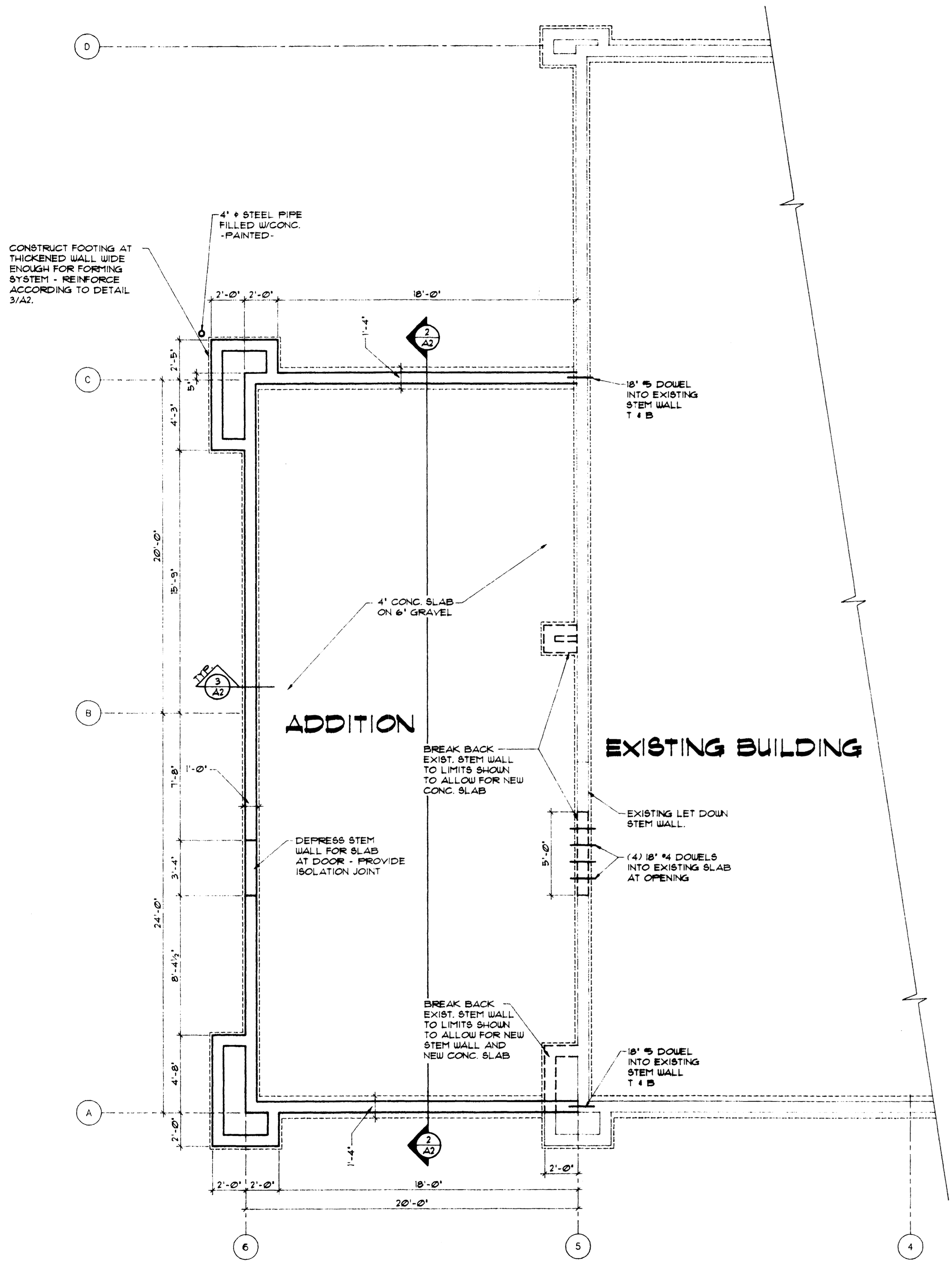
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FIRE STATION #14  
ADDITION

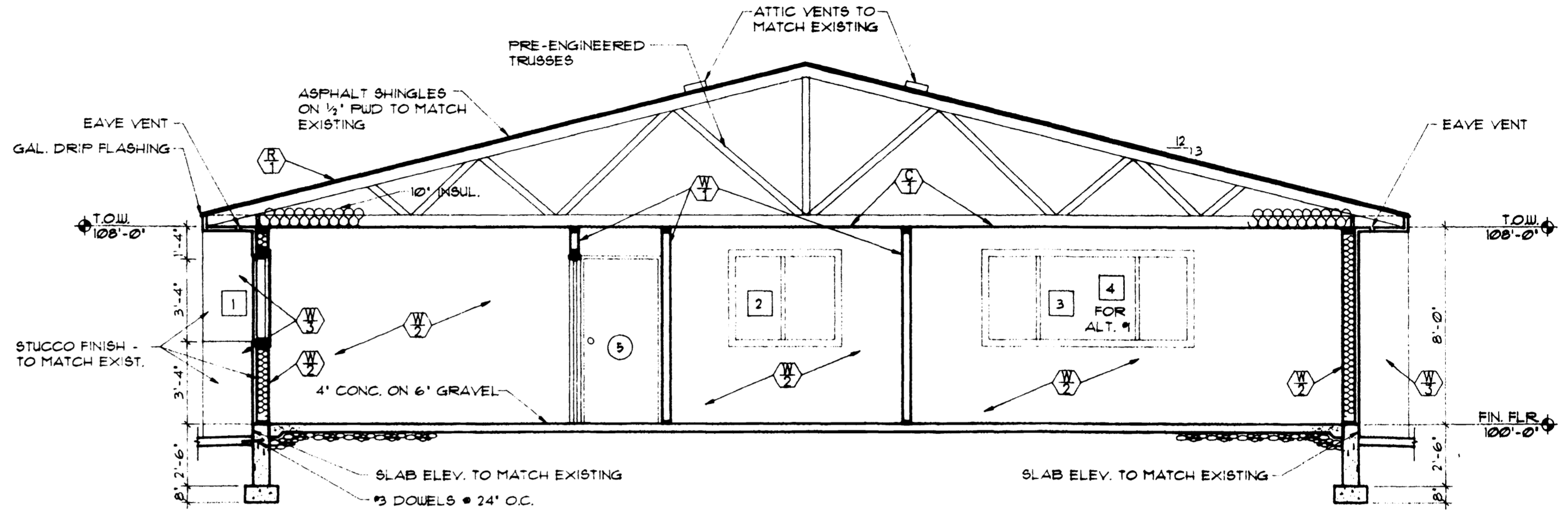
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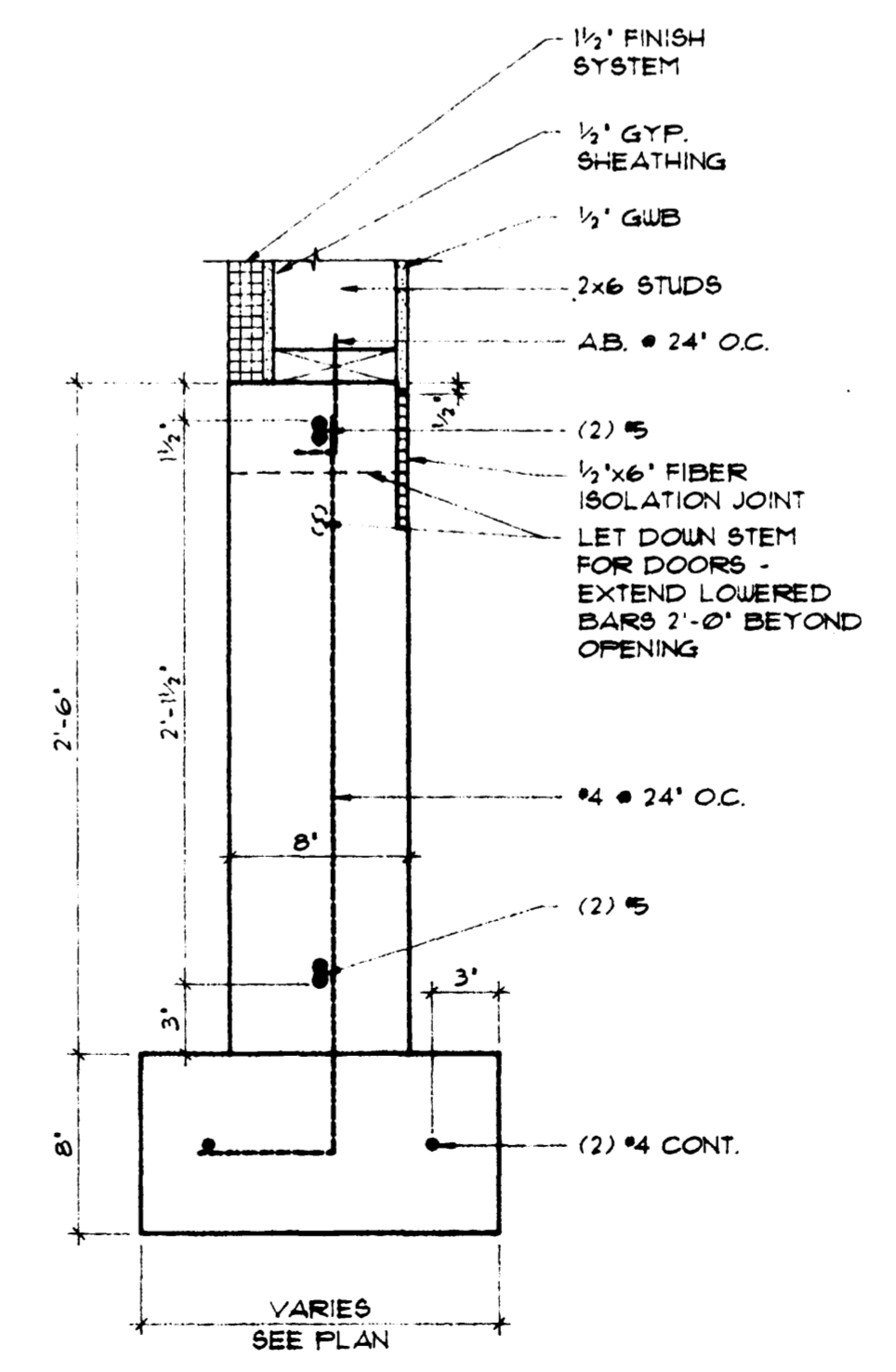
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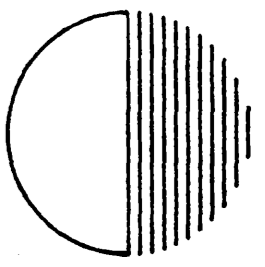
**1 FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"  
NORTH



**2 BUILDING SECTION**  
SCALE: 1/4"=1'-0"



**3 FOOTING/STEM TYP.**  
SCALE: 1/2"=1'-0"



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PROJECT PHASE

CD

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TIME ISSUED: 16:18

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GRAND JUNCTION #14  
FIRE STATION ADDITION

SHEET NO.

A3

OF 5

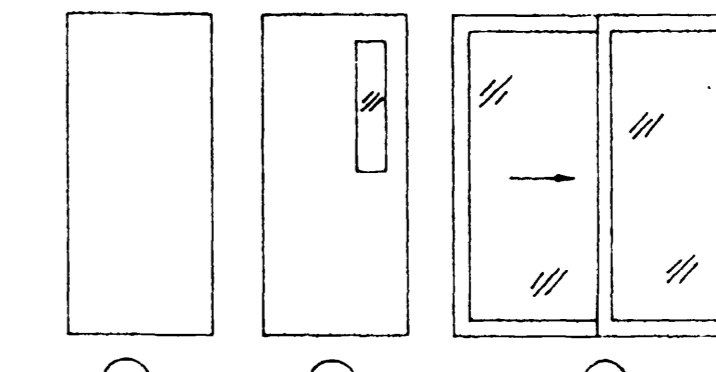
FINISH SCHEDULE							
NAME	MARK	WALLS	NEW	FLOOR	CLG.	CLG.	HT.
HALL	100	1	2	1	CPT/V.B.	C1	8'-0"
EXERCISE	101	1	1	2	CPT/V.B.	C1	8'-0"
LIBRARY	102	1	1	1	CPT/V.B.	C1	8'-0"
HALL	103	1	1	1	CPT/V.B.	C1	8'-0"
DORM 4	104	1	1	1	CPT/V.B.	C1	8'-0"
DORM 3	105	1	1	2	CPT/V.B.	C1	8'-0"
DORM 2	106	1	1	1	EX. CPT/V.B.	C2	8'-0"
DORM 1	107	1	1	1	EX. CPT/V.B.	C2	8'-0"
HALL	108	3	3	1	EX. CPT/V.B.	C2	8'-0"

1. PAINTED GYP. BD.
2. EXISTING STUCCO PAINTED
3. EXISTING

- C1. PAINTED GYP. BD.
- C2. EXIST. PATCH AND PAINT TO MATCH
- VB. VINYL BASE ON NEW WALLS
- CPT. NEW CARPET TO MATCH EXIST.

DOOR SCHEDULE							
MARK	SIZE	DOOR TYPE	MAT. TYPE	FRAME TYPE	HARDWARE	REMARK	
1	3'x6'	A	SC WD.	HM	LL		
2	3'x6'	A	SC WD.	HM	LL		
3	3'x6'	A	SC WD.	HM	LL		
4	3'x6'	A	SC WD.	HM	LL		
5	3'x6'	A	HM	HM	HU 2	EXIST. RELOC.	
6	3'x6'	A	SC WD.	HM	LL		
7	3'x6'	B	HC WD.	HM	LN		
8	3'x6'	B	HC WD.	HM	LN		
AI	6'x8'	C	AL	AL	LL	ALTERNATE 1	

- LL = FUNCTION 'L' PRIVACY LOCK SET  
 HU2 = REUSE EXISTING HARDWARE THRESHOLD  
 LN = FUNCTION 'N' PASSAGE LOCK SET

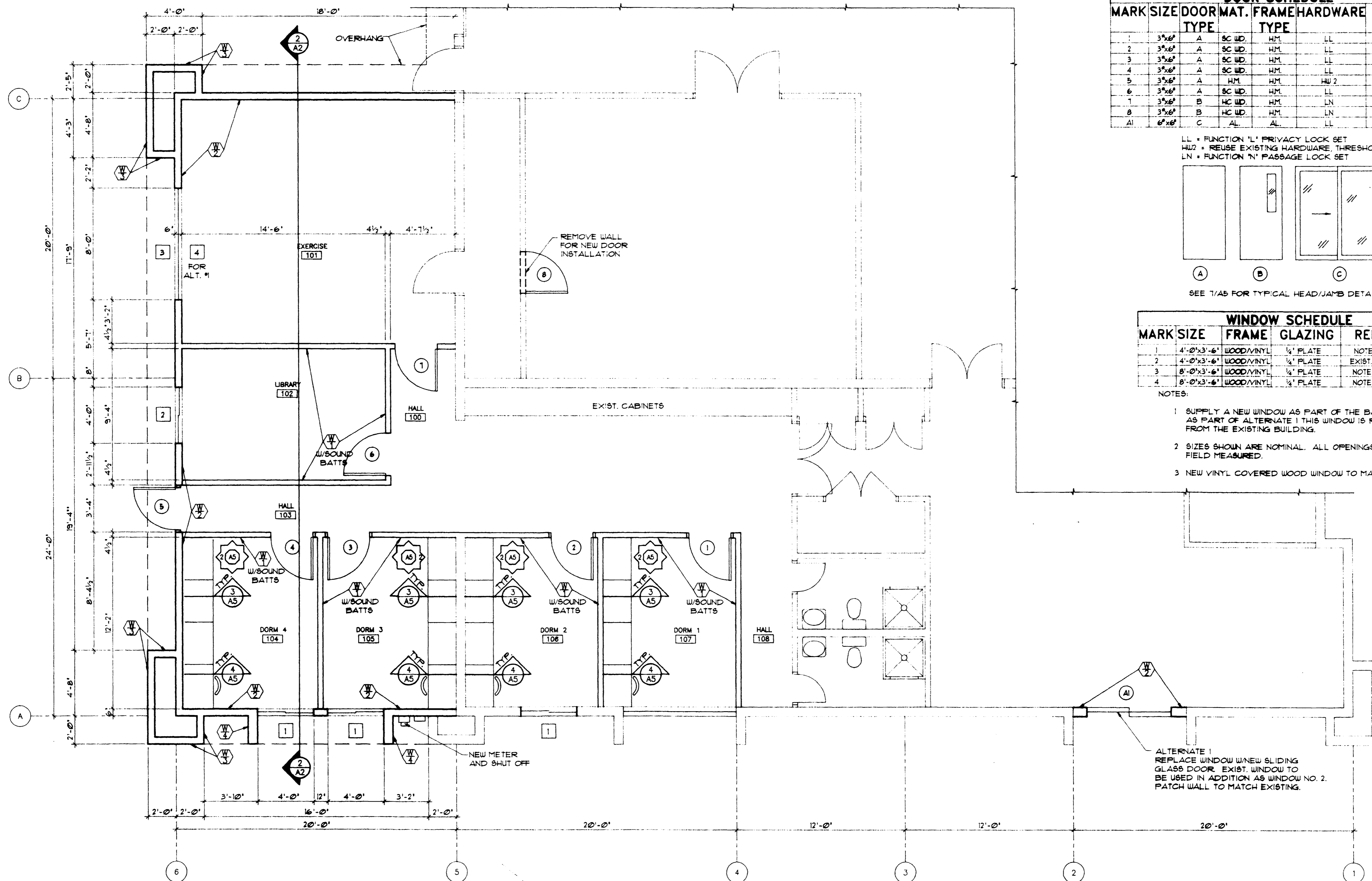


SEE 1/A5 FOR TYPICAL HEAD/JAMB DETAIL

WINDOW SCHEDULE				
MARK	SIZE	FRAME	GLAZING	REMARK
1	4'-0"x3'-6"	WOOD/VINYL	1/4" PLATE	NOTE 3
2	4'-0"x3'-6"	WOOD/VINYL	1/4" PLATE	EXIST. RELOC.
3	8'-0"x3'-6"	WOOD/VINYL	1/4" PLATE	NOTE 1,3
4	8'-0"x3'-6"	WOOD/VINYL	1/4" PLATE	NOTE 1,3

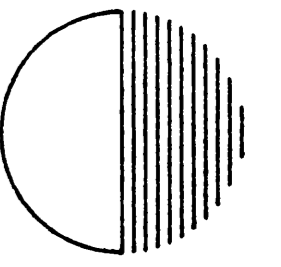
NOTES:

1. SUPPLY A NEW WINDOW AS PART OF THE BASE BID. AS PART OF ALTERNATE 1 THIS WINDOW IS RELOCATED FROM THE EXISTING BUILDING.
2. SIZES SHOWN ARE NOMINAL. ALL OPENINGS SHALL BE FIELD MEASURED.
3. NEW VINYL COVERED WOOD WINDOW TO MATCH EXISTING.



1 FLOOR PLAN  
A3 SCALE: 1/4"=1'-0"

--- DENOTES ITEM TO BE DEMOLISHED  
 --- DENOTES ITEM OVERHEAD



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PROJECT NAME

CD

APPROVED BY:

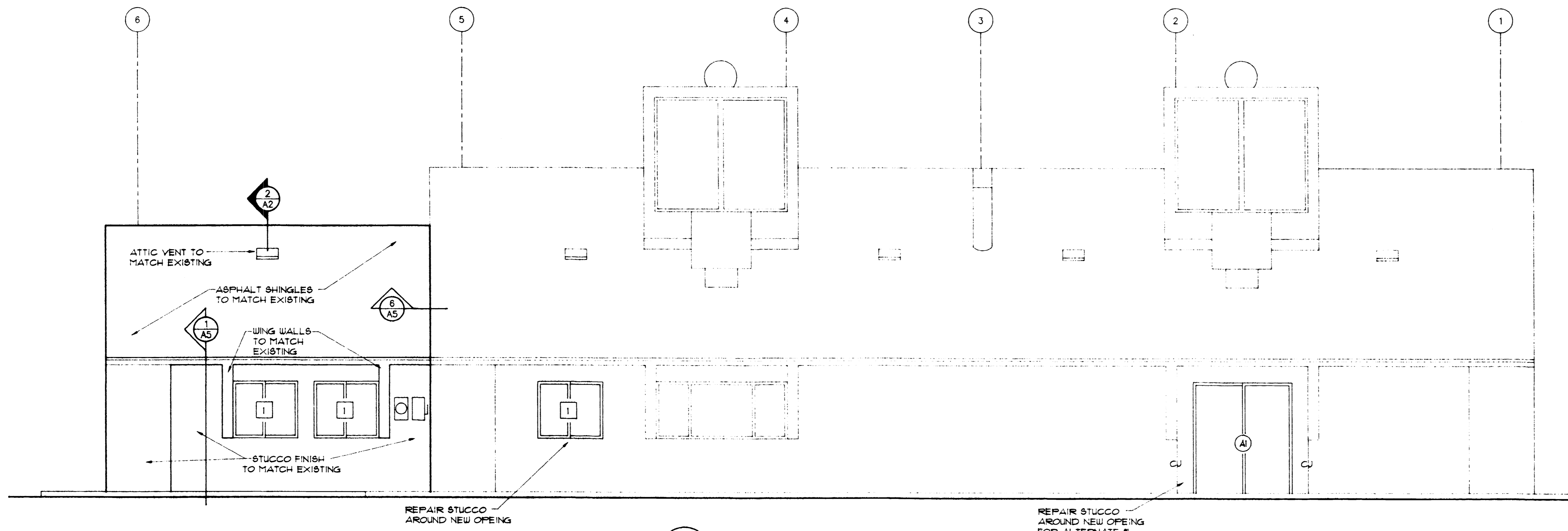
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SHEET SIZE: 36x24

GRAND JUNCTION  
FIRE STATION #14  
ADDITION

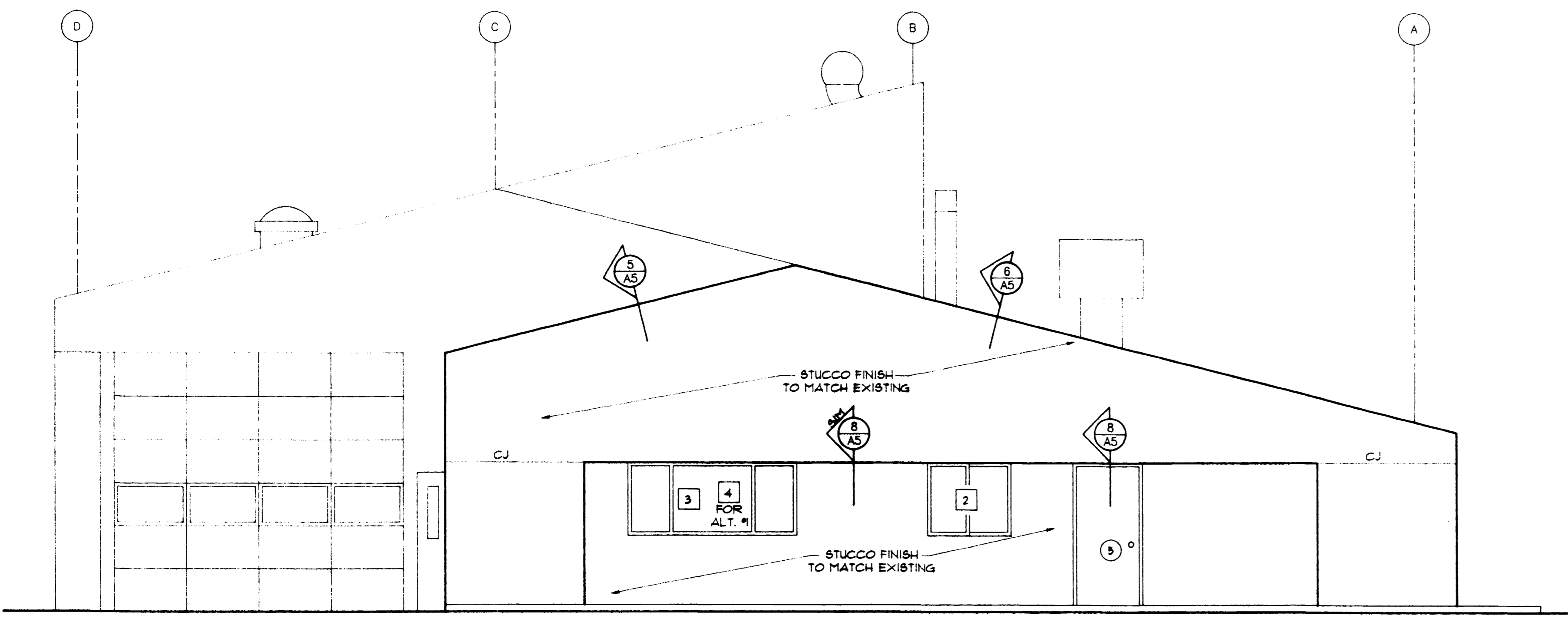
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A4

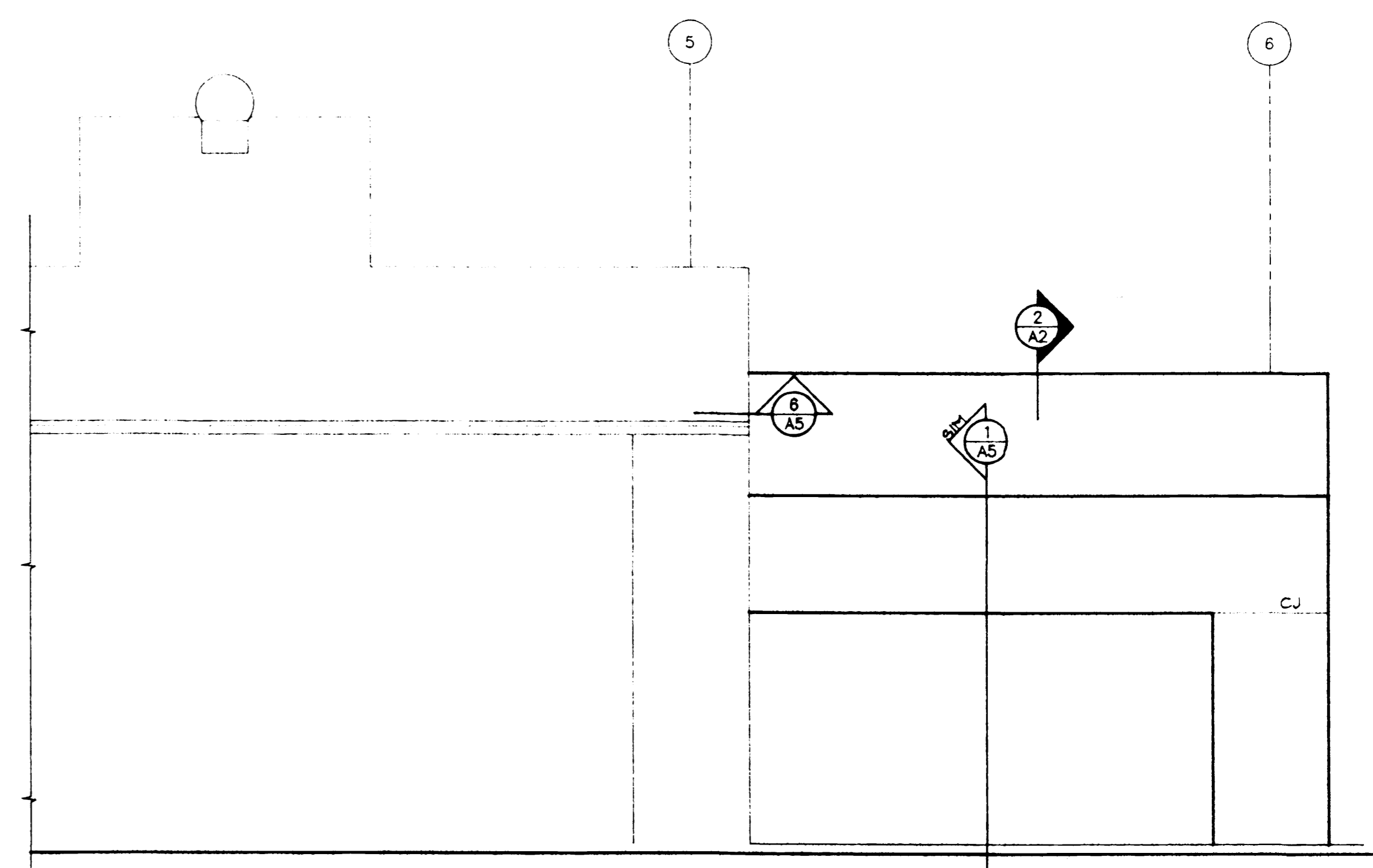
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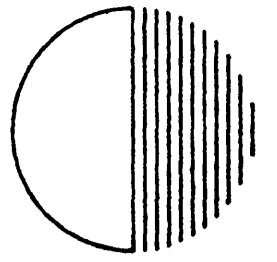
**1 SOUTH ELEVATION**  
A4 SCALE: 1/4"=1'-0"



**2 WEST ELEVATION**  
A4 SCALE: 1/4"=1'-0"



**2 NORTH ELEVATION**  
A4 SCALE: 1/4"=1'-0"



DILLON-HUNT P.C.

ARCHITECTURE AND FACILITY MANAGEMENT

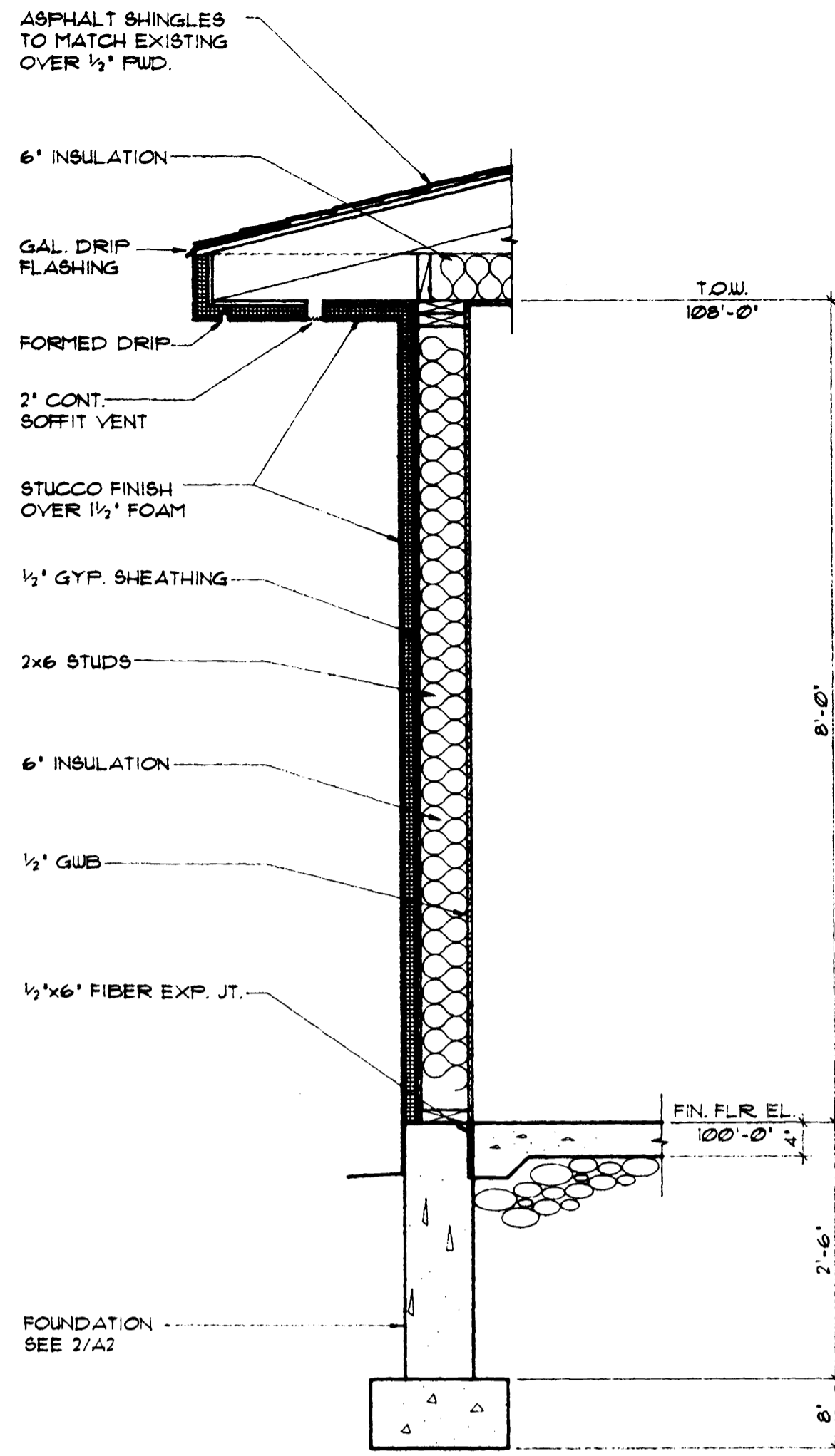
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PROJECT PHASE

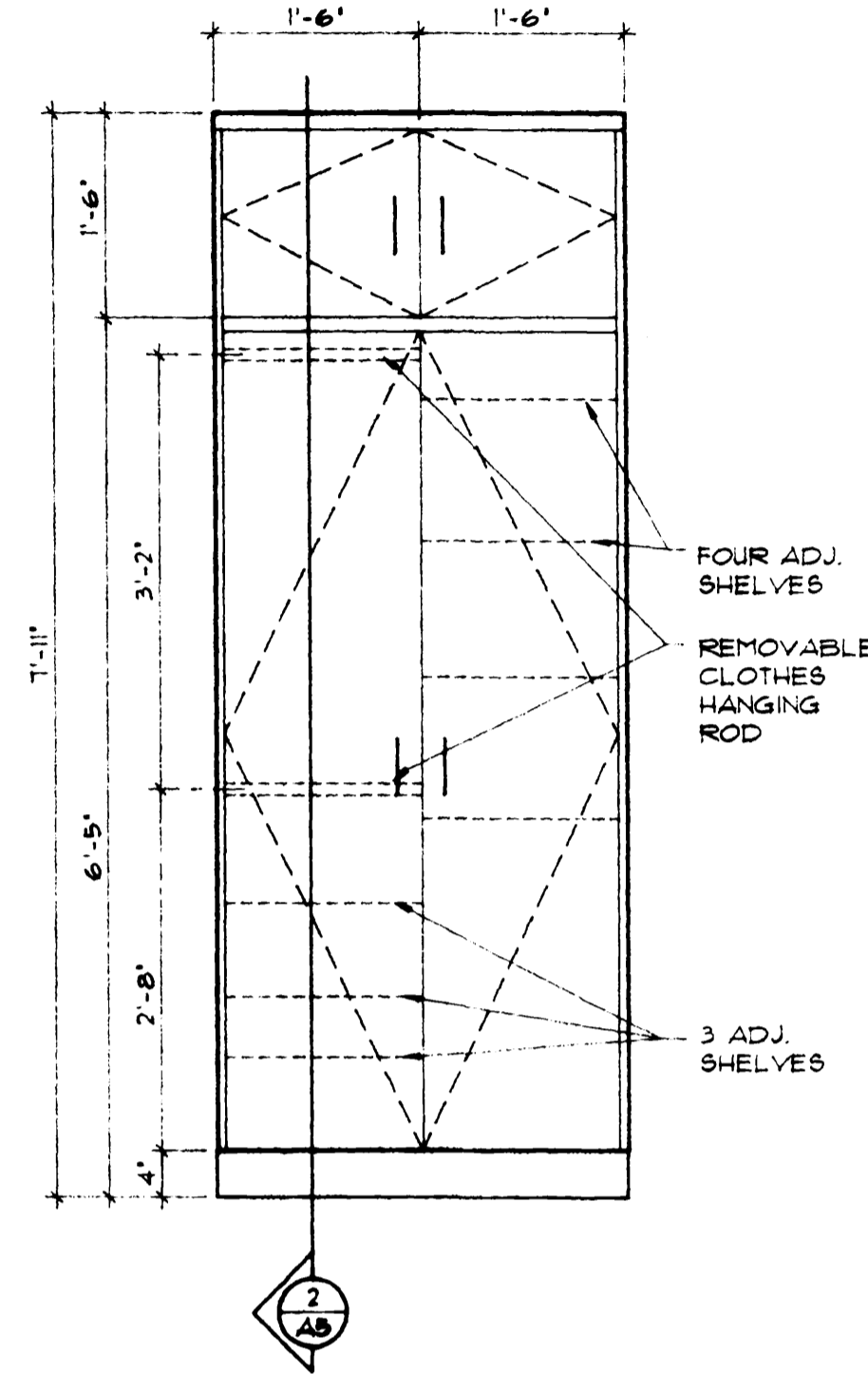
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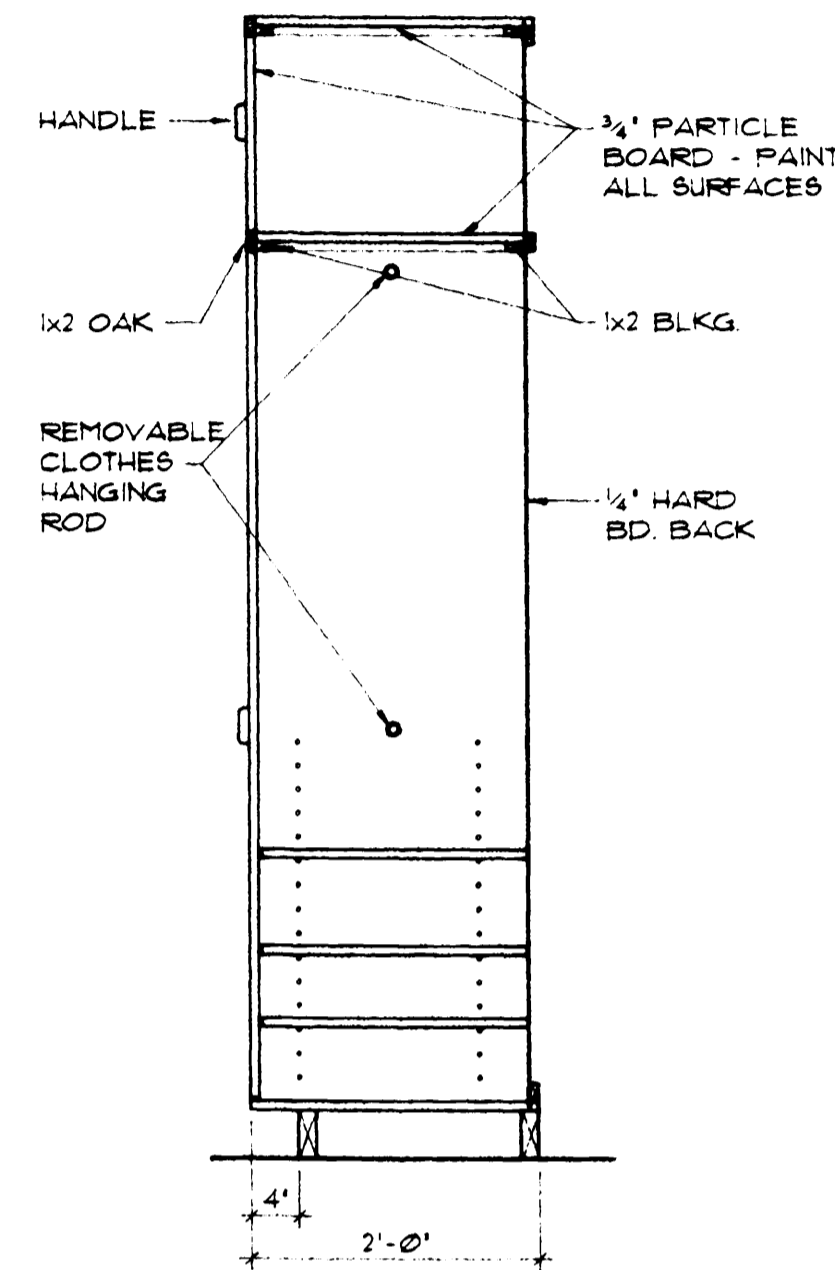
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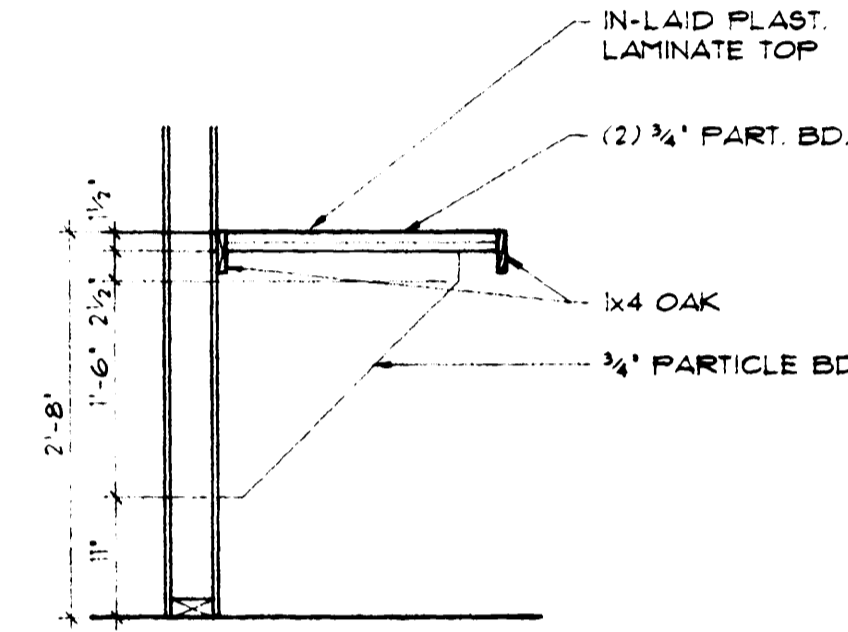
1 TYPICAL WALL SECTION  
A5 SCALE: 3/4" = 1'-0"



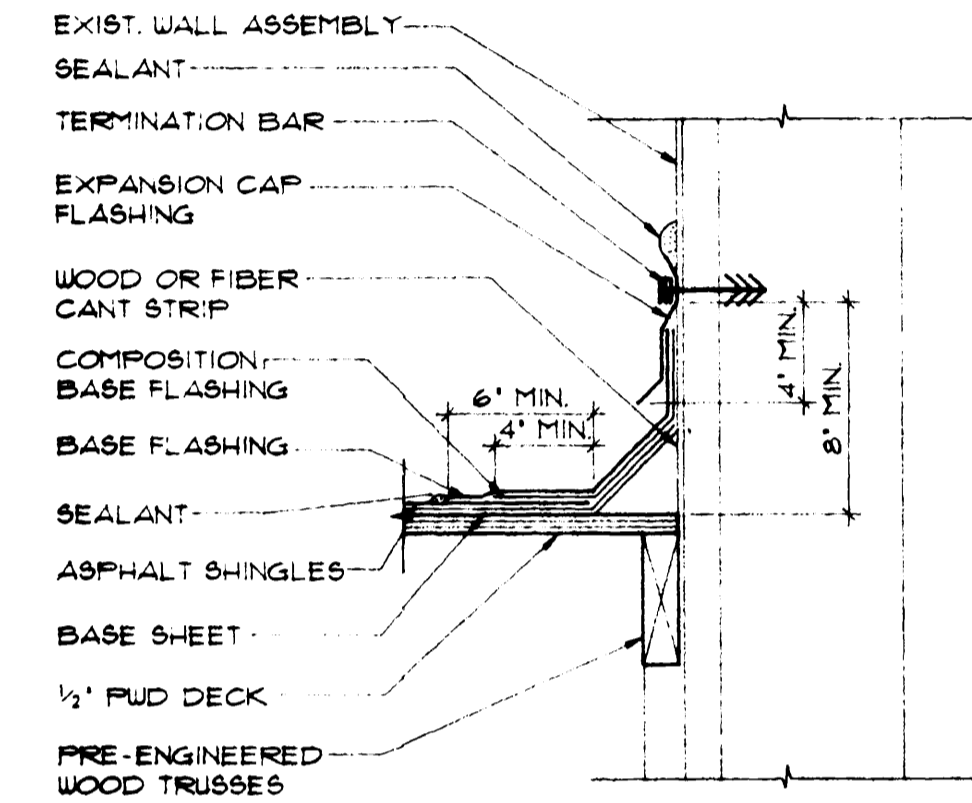
2 CABINET ELEVATION  
A5 SCALE: 3/4" = 1'-0" 3 # EA. DORM



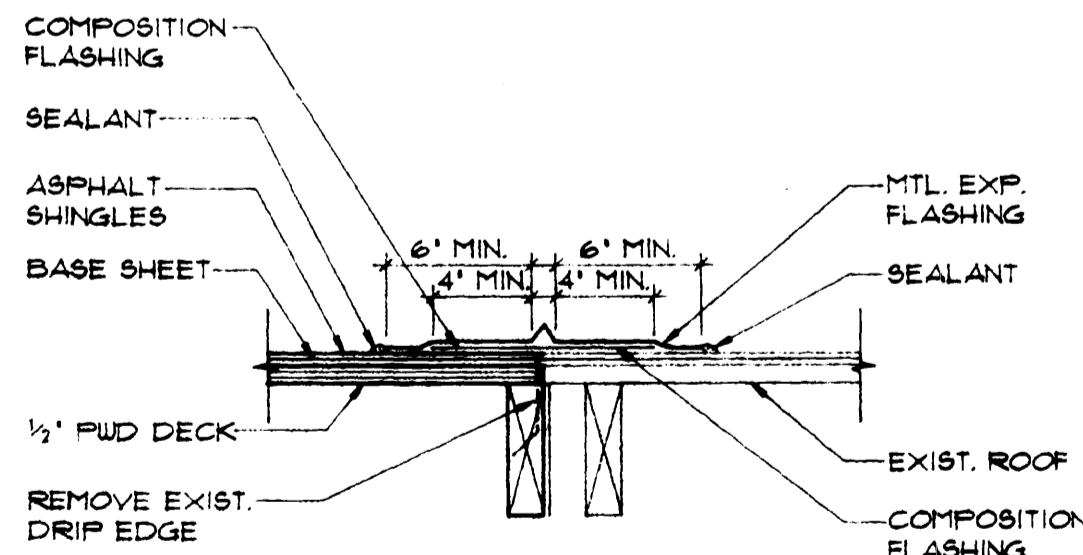
3 CABINET SECTION  
A5 SCALE: 3/4" = 1'-0"



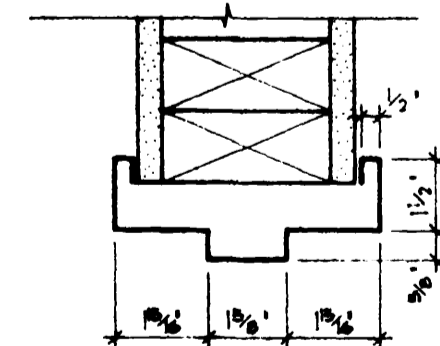
4 DESK SECTION  
A5 SCALE: 3/4" = 1'-0"



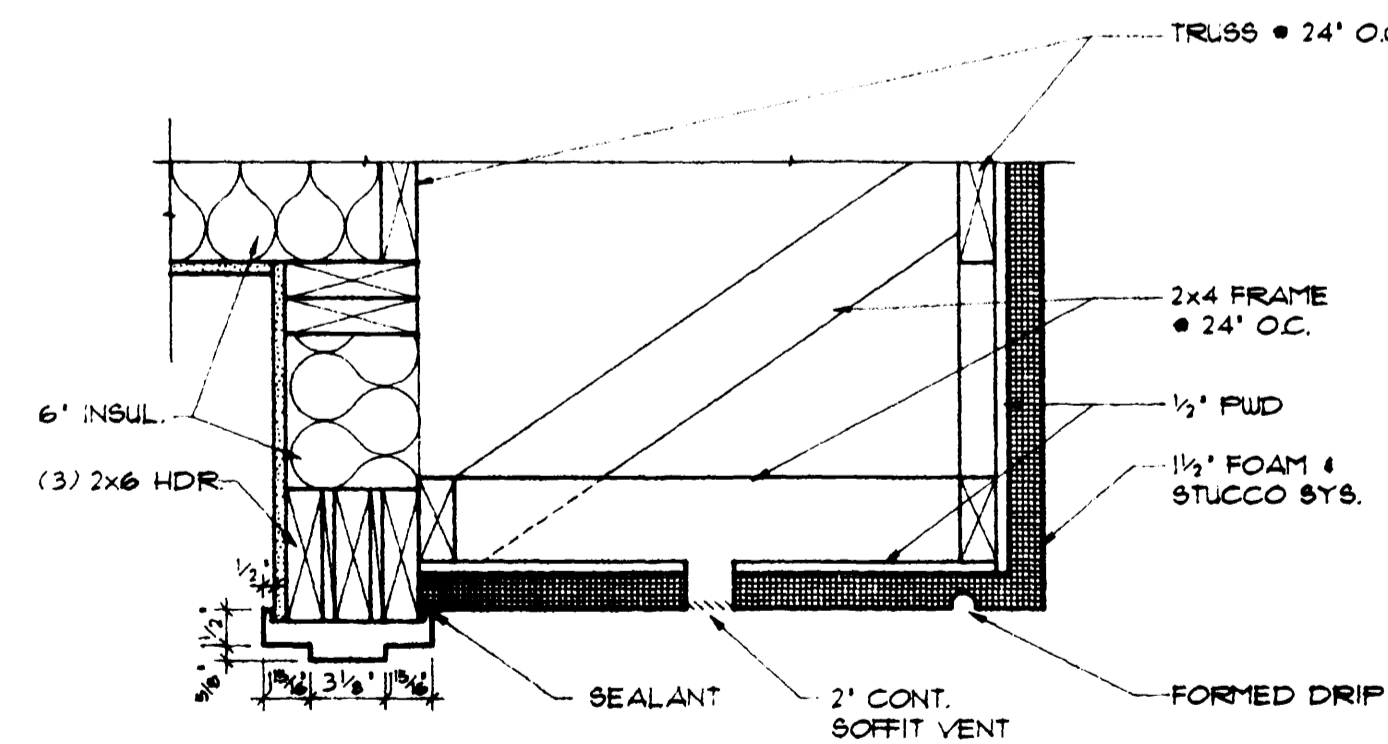
5 ROOF/WALL DETAIL  
A5 SCALE: 1 1/2" = 1'-0"



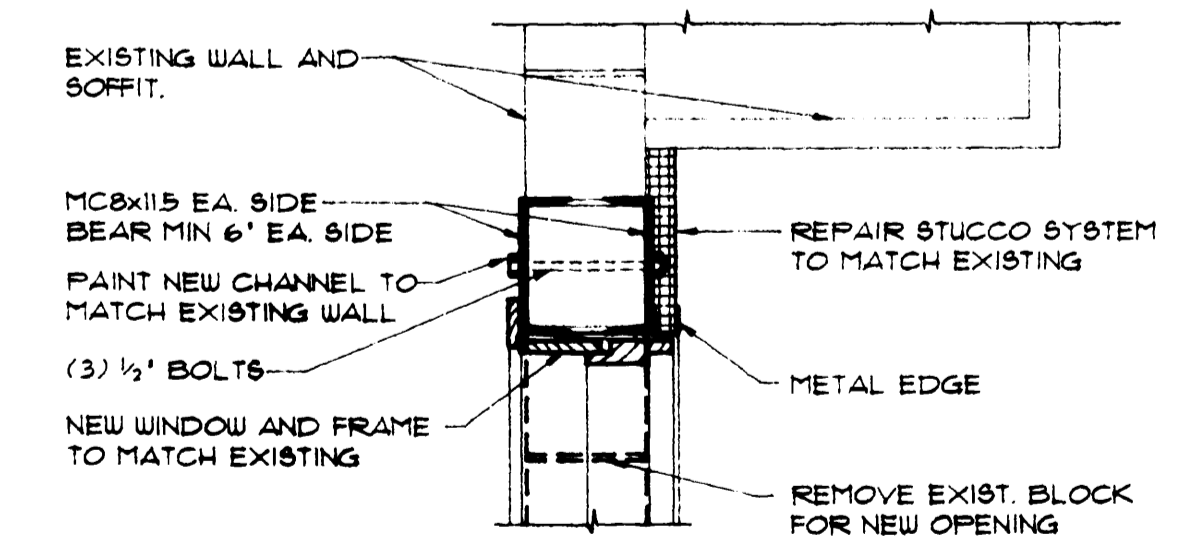
6 NEW/EXIST. ROOF DETAIL  
A5 SCALE: 1 1/2" = 1'-0"



7 TYP. HEAD/JAMB  
A5 SCALE: 3" = 1'-0"



8 EXT. DOOR HEAD DETAIL  
A5 SCALE: 1 1/2" = 1'-0"



NOTE:  
SAW CUT IN HORIZONTAL FLANGES OF CHANNEL BEARING 6" MINIMUM ON EACH SIDE. REMOVE BLOCK FOR NEW OPENING AFTER CHANNELS HAVE BEEN INSTALLED.

9 HEADER DETAIL AT NEW WINDOW  
A5 SCALE: 1" = 1'-0"

GRAND JUNCTION  
FIRE STATION #14  
ADDITION

SHEET NO.

A5

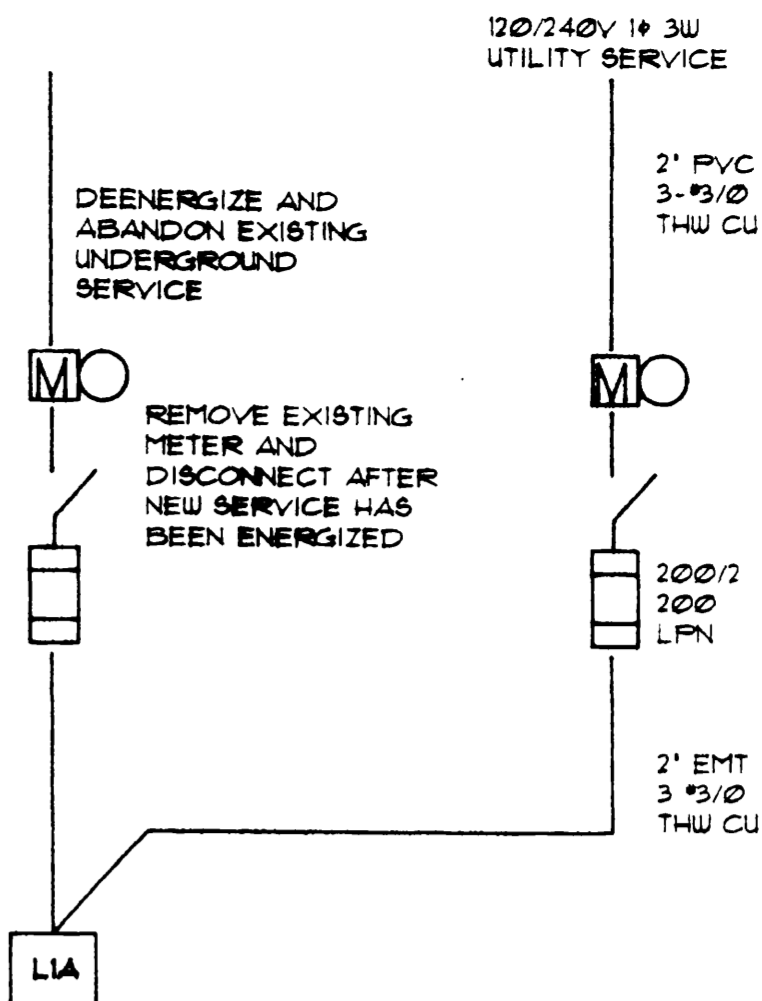
OF 5

## DEMOLITION NOTES

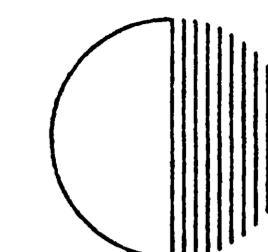
- D1 REMOVE AND DISCARD NON BATTERY SMOKE DETECTOR.
- D2 BLANK OFF EXISTING PHONE OUTLET AND ABANDON.
- D3 REMOVE EXISTING HPS DOWNLIGHT AND RETURN TO OWNER.
- D4 DISCONNECT AND REMOVE EXISTING HPS LIGHTING FIXTURE. CLEAN AND RELAMP FOR USE IN RECONSTRUCTION. MAINTAIN CIRCUIT INTEGRITY TO DOWNSTREAM FIXTURES.
- D5 DISCONNECT AND REMOVE EXISTING 2-LAMP FLUORESCENT WRAPAROUND LIGHTING FIXTURES. CLEAN AND RELAMP FOR USE IN NEW CONSTRUCTION.
- D6 DISCONNECT, REMOVE AND DISCARD MAP LIGHT, AND EMERGENCY EGRESS LIGHT.
- D7 REMOVE EXISTING CONVENIENCE OUTLET. BACKFEED ANY OTHER DEVICES MADE INOPERABLE BY THIS DEMOLITION.
- D8 REMOVE EXISTING MAIN ELECTRICAL POWER SWITCH AND METER WORK TO BE DONE AFTER NEW METER AND DISCONNECT HAVE BEEN INSTALLED ON ADDITION AND PANEL LPI IS BACK FED.
- D9 DE-ENERGIZE EXISTING UNDER GROUND POWER SERVICE AND ABANDON IN PLACE.
- D10 NEW DOOR TO BE CUT THRU THIS WALL. REWORK COMPRESSOR BRANCH CIRCUIT AND ANY OTHER CIRCUITS DISTURBED BY THIS DEMOLITION TO MAINTAIN POWER TO ALL DOWNSTREAM DEVICES.
- D11 ALTERNATE 1 WINDOW AND WALL TO BE DEMOLISHED FOR NEW GLASS DOOR. REWORK ANY ELECTRICAL CIRCUITS DISTURBED BY THIS DEMOLITION TO MAINTAIN POWER TO ALL DOWNSTREAM DEVICES.

## LIGHTING FIXTURE SCHEDULE

- A EXISTING 2 LAMP FLUORESCENT SURFACE WRAPAROUND. CLEAN AND RELAMP. LAMPS TO BE GE F40SP35.
- AI LIKE A EXCEPT NEW - LITHONIA 15C-240A-120
- B WALL MOUNTED UP/DOWN FLUORESCENT WITH ROCKER SWITCH - ALKCO 9126-RSW WITH GE 20T12/SPES LAMP.
- C MONOPOINT TRACK FIXTURE - PRESCOLITE 1101/T35 WITH SYLVANIA 55PAR16/CAP/NSP LAMP AND DIMMER. MOUNT AT 52" AFF.
- D CEILING FLUORESCENT WITH WHITE TRANSLUCENT DIFFUSER - LIGHTOLIER 5003 WITH GE F13BX/SPX35 LAMPS.
- K EXISTING HPS RECESSED DOWNLIGHT. CLEAN AND RELAMP.



**3 ONE LINE DIAGRAM**  
E1 NO SCALE



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PROJECT PHASE

CD

APPROVED BY:

PROJECT NO. 9302

DATE ISSUED: 04-07-93

TIME ISSUED: 09:32

DRAWN BY: BAM

SCALE: 1/8"=1'-0"

SHEET NO. 36x24

GRAND JUNCTION #14  
FIRE STATION #14  
ADDITION

SHEET NO.

E1

OF 1

**1 ELEC./SYSTEM DEMO. PLAN**  
E1 SCALE: 1/4"=1'-0"



NORTH

## LEGEND

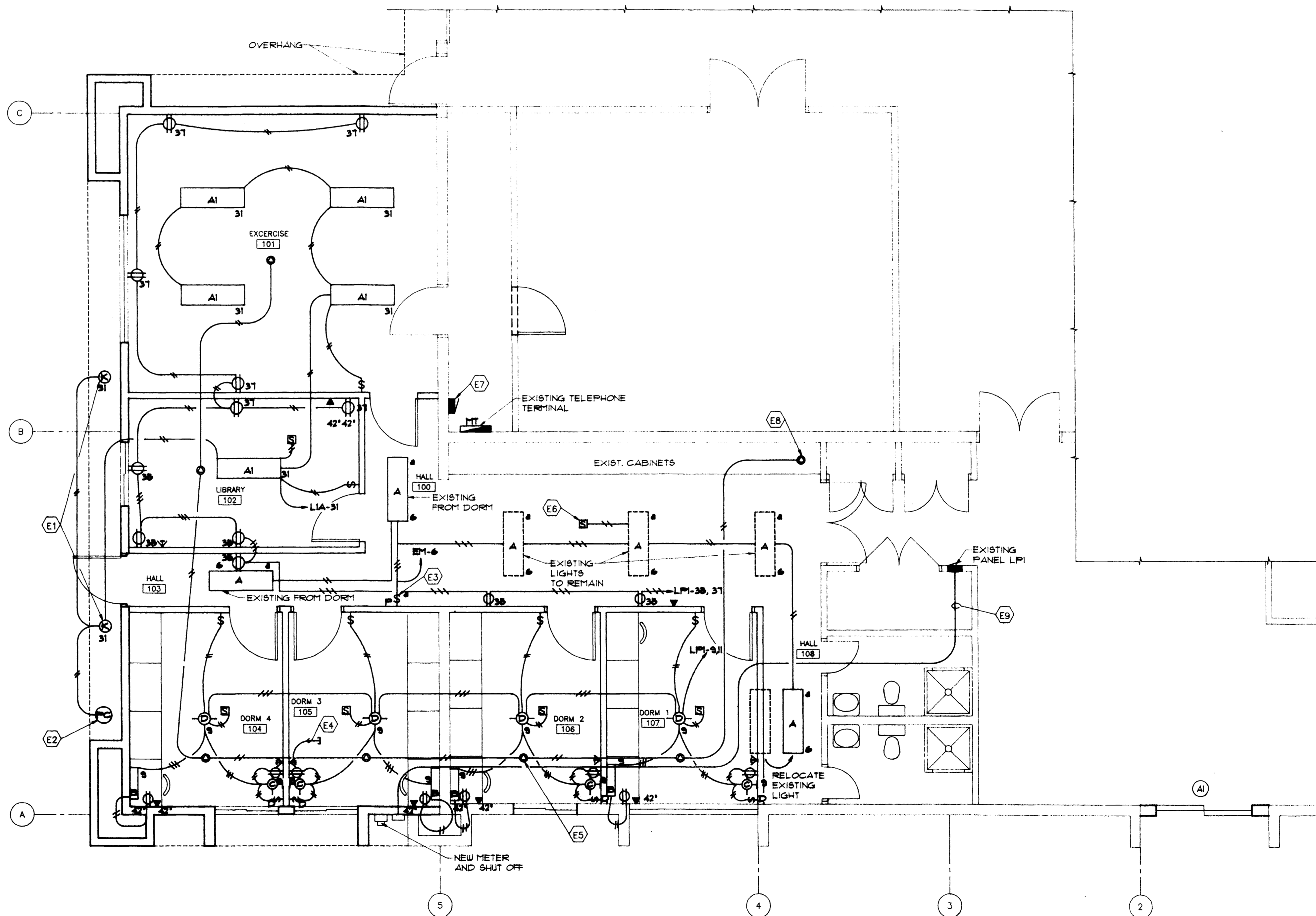
- FLUORESCENT LIGHT FIXTURE  
A = DESIGNATION
- DUPLEX RECEPTACLE  
MH = 18" AFF.
- TV OUTLET  
MH = 18" AFF.
- CEILING SPEAKER
- SMOKE DETECTOR
- SWITCH  
P = MOTION  
D = DIMMER
- TELEPHONE JACK
- FLUORESCENT OR HID LIGHT FIXTURE  
A = DESIGNATION

## GENERAL NOTES

- PROVIDE STEPDOWN TRANSFORMER AND WIRE THERMOSTATS AND HEATING VALVES SHOWN ON MECHANICAL PLANS.
- ALL POWER WIRING SHALL BE RUN IN CONDUIT. SIGNAL WIRING MAY BE RUN OPEN IN THE ATTIC.
- WIRING DEVICES SHALL BE IVORY, COMMERCIAL SPECIFICATION GRADE.

## RECONSTRUCTION NOTES

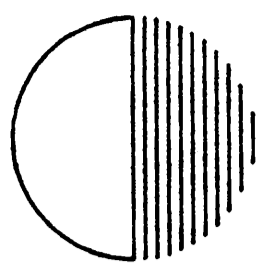
- E1 RELOCATE EXISTING FIXTURES HERE.
- E2 PRECISION 15T-15 PHOTO CELL
- E3 LEVITON 16T115 MOTION SWITCH
- E4 STUB 3/4" EMT CONDUIT ABOVE CEILING. TYPICAL FOR PHONE AND TV OUTLETS. OWNER TO INSTALL CABLE AND JACKS.
- E5 TYPICAL SPEAKER: SOUNDOLIER 1C803 W/ UNIVERSAL TRANSFORMER. BAFFLE: SOUNDOLIER 1130-B. BACKBOX: SOUNDOLIER 1135-B
- E6 TYPICAL SMOKE DETECTOR - AC WITH BATTERY BACK-UP TANDEM WIRED
- E7 EXISTING EMERGENCY PANEL. INSTALL 20A 1P BREAKER IN LOCATION 6 FOR HALL LIGHTS
- E8 EXISTING SPEAKER. EXTEND WIRING TO NEW SPEAKERS THROUGH ATTIC USING WEXT PENN 1293 SPEAKER CABLE.
- E9 INSTALL NEW SERVICE TO EXISTING PANEL FROM NEW EXTERIOR LOCATION THROUGH ATTIC. DROP DOWN WALL IN BOILER ROOM AND ENTER PANEL AT BOTTOM THROUGH BACK OF CAN. SEE ONE LINE DIAGRAM.



**1 ELEC./SYSTEM CONST. PLAN**  
E1 SCALE: 1/4"=1'-0"



NORTH



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PROJECT PHASE

CD

APPROVED BY:

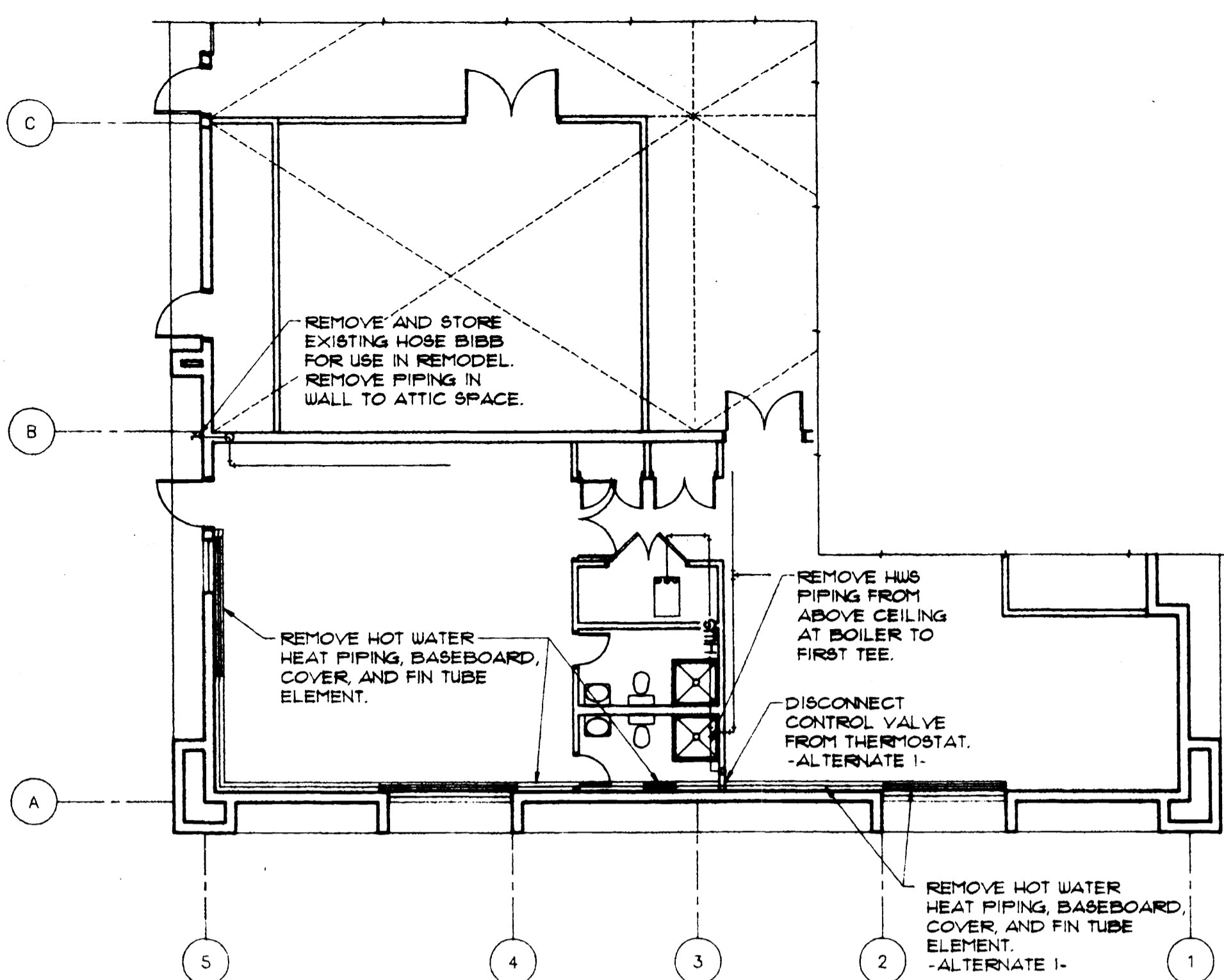
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TIME ISSUED: 09:46  
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SCALE: 1/8"=1'-0"  
SHEET SIZE: 36x24

GRAND JUNCTION  
FIRE STATION #14  
ADDITION

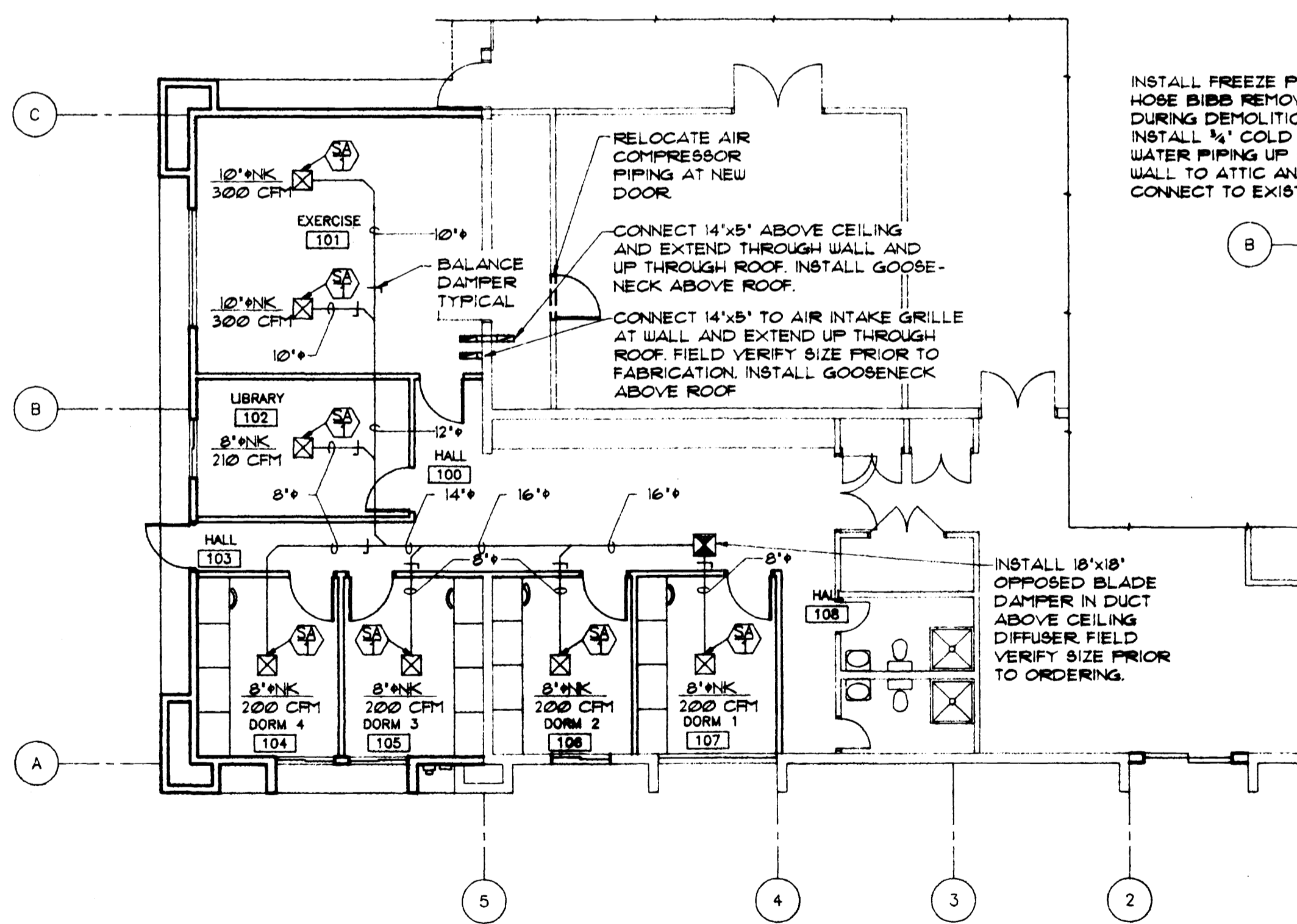
SHEET NO.

M1

OF 1



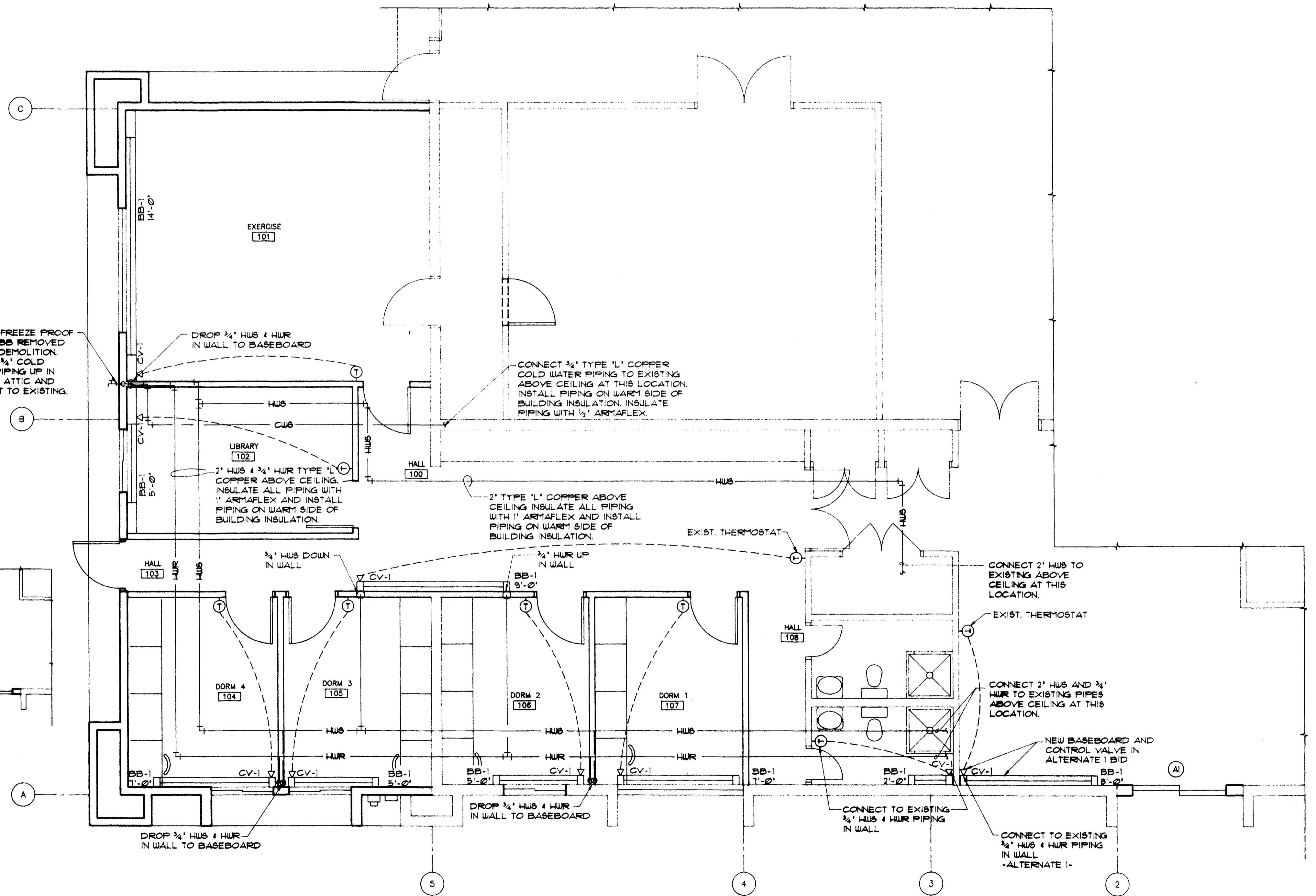
**1 MECHANICAL DEMO. PLAN**  
M1 SCALE: 1/8"=1'-0"  
NORTH



**GENERAL NOTES**

- 1 ALL ROUND DUCTWORK SHOWN SHALL BE SNAPLOK PIPE WITH SCREWED AND TAPED JOINTS.
- 2 SEAL ALL LONGITUDINAL SEAMS WITH DUCT TAPE.
- 3 INSTALL BALANCE DAMPERS AS SHOWN.

**2 MECHANICAL CONST. PLAN**  
M1 SCALE: 1/8"=1'-0"  
NORTH



**3 PLUMBING CONST. PLAN**  
M1 SCALE: 1/8"=1'-0"  
NORTH

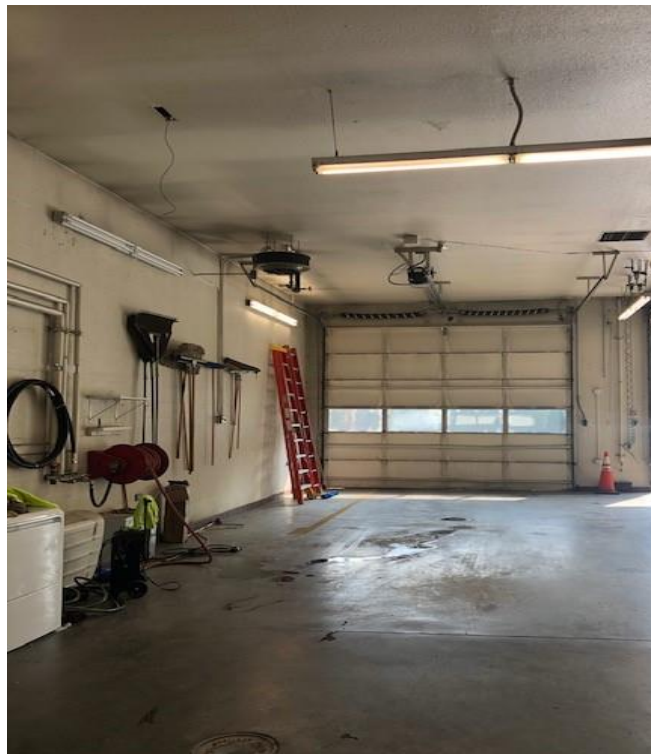
**Attachment 2**

**Northwest Bay Door**

Outside view



Inside view



### Attachment 3

### Southwest Bay Door

Outside view



Inside view





## Attachment 4

Trucks stored in the bay



2100 Plus

Combination Single Engine Dual Stage Sewer Cleaner with Hydrostatic Driven Vacuum System Mounted on a Heavy Duty Truck Chassis