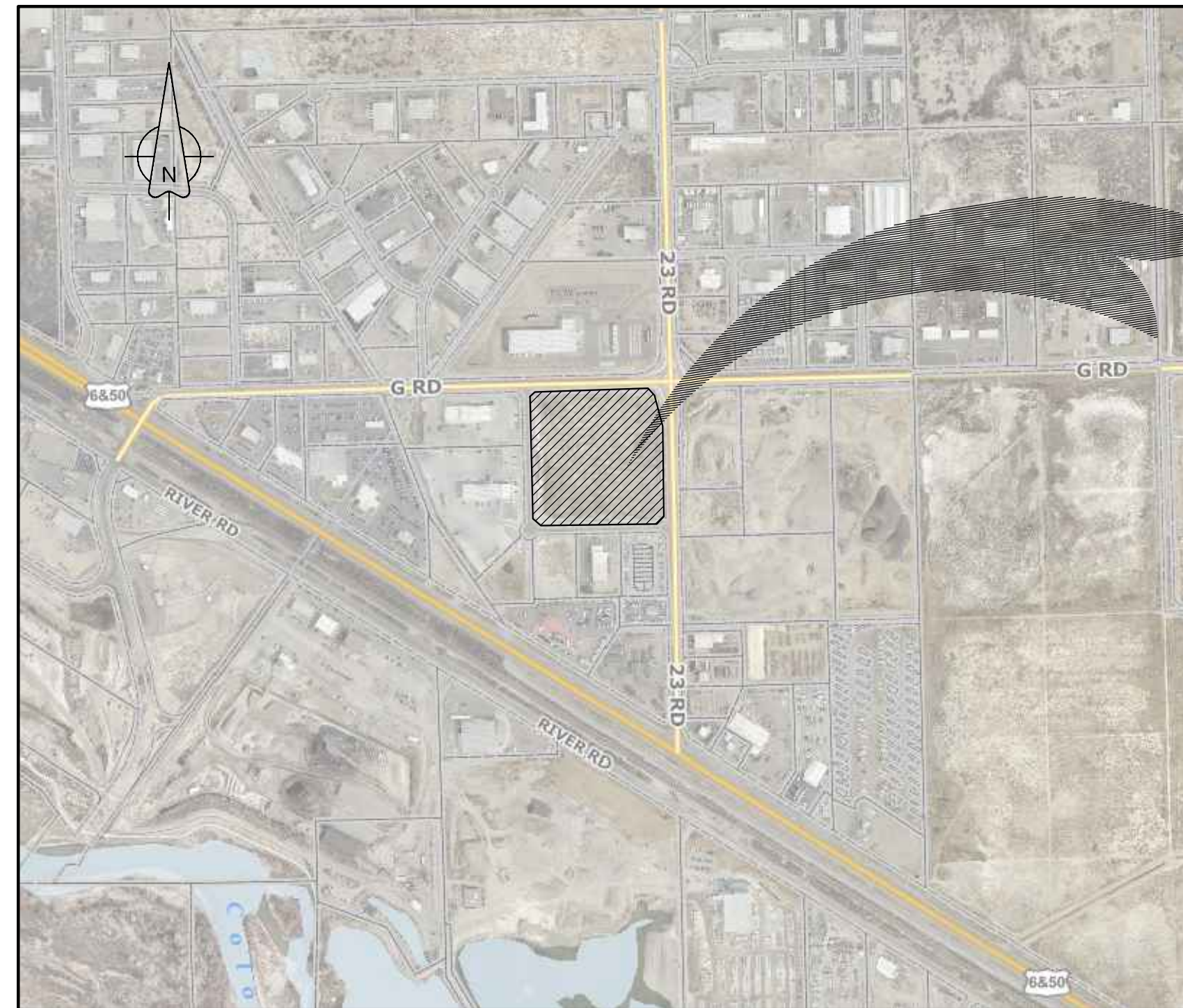


Food Bank of the Rockies, Inc.
 10700 E 45th Avenue
 Denver, Colorado 80239

PLANS FOR
 CONSTRUCTION OF

FOOD BANK OF THE ROCKIES

JUNE 15, 2021

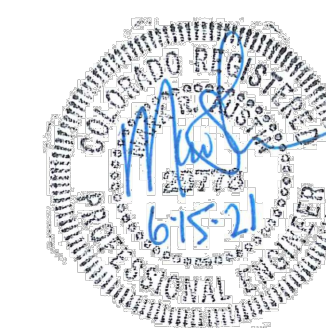


VICINITY MAP
 NTS

PROJECT
 LOCATION

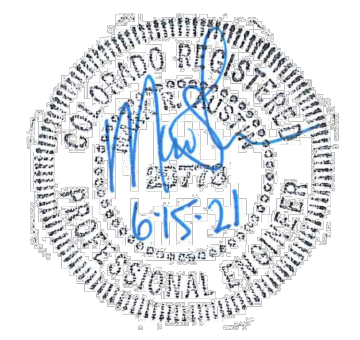
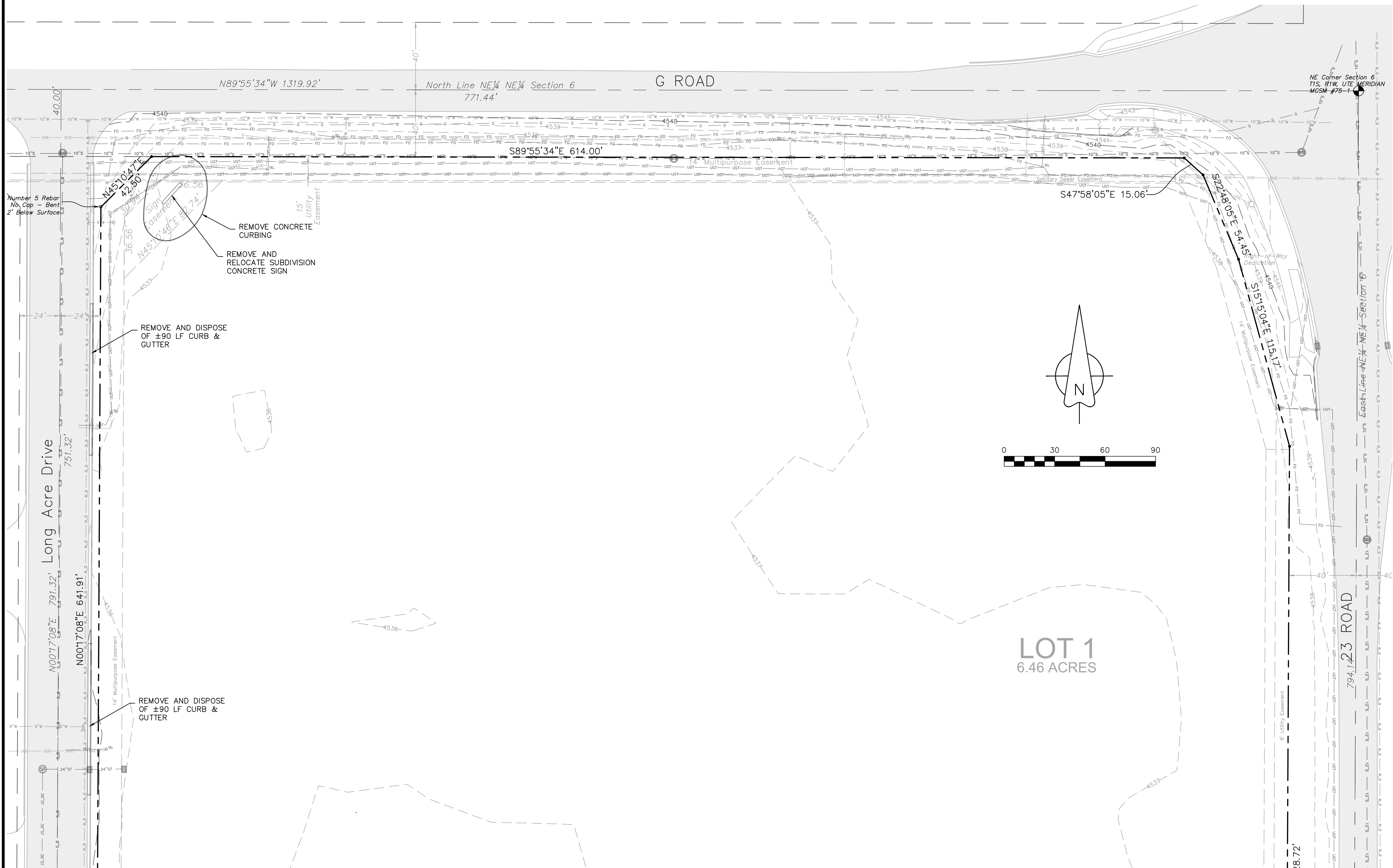
Sheet Index

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C-2	GENERAL NOTES & DETAILS
C-3	DEMOLITION PLAN
C-4	SITE PLAN
C-5	UTILITY COMPOSITE PLAN
C-6	SEWER PLAN
C-7	STORM LNE 1 PLAN & PROFILE
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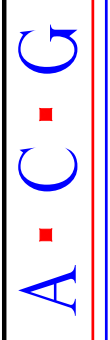
ACCEPTANCE BLOCK
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 CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

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BID PACKAGE 2 FOOD BANK OF THE ROCKIES COVER 2294 TALLGRASS DRIVE prepared for Food Bank of the Rockies				
DRAWN BY: lms	DESIGNED BY: lms	CHECKED BY:	APPROVED BY: MRA	JOB NUMBER: 1411.0001
				DATE: 4-8-21
				SCALE: NTS
				SHEET NO: C-1

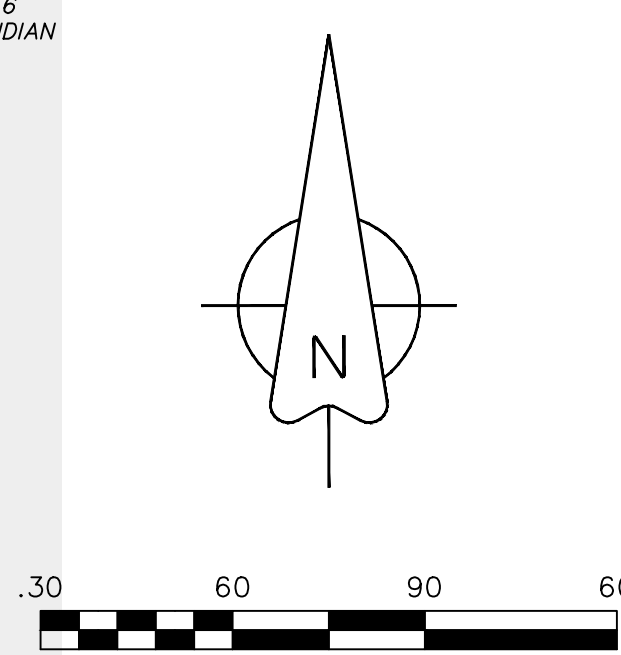
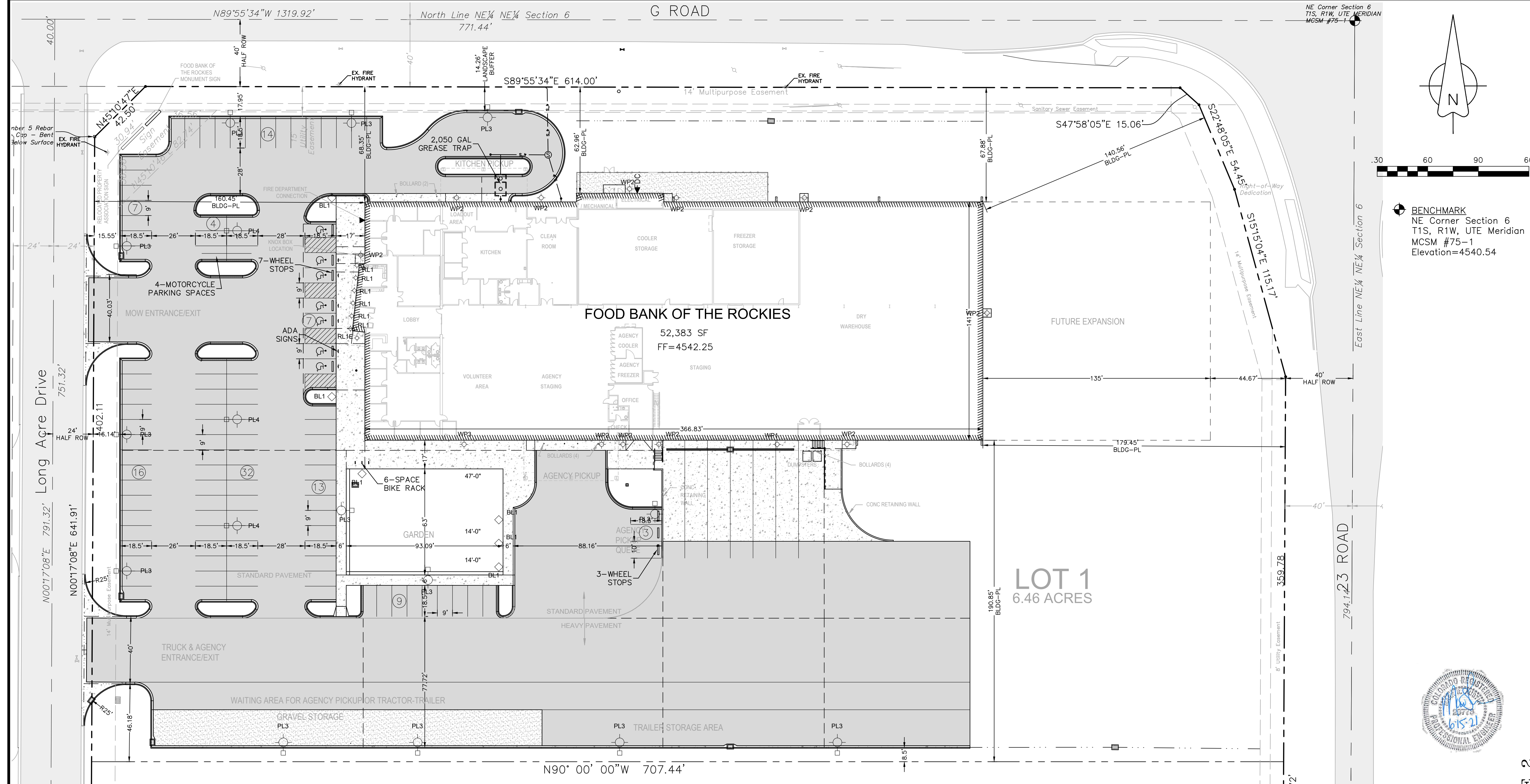


NOTE:
 1. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG G ROAD AND LONG ACRE DRIVE.

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<p>DRAWN BY: lms</p>	<p>DESIGNED BY: lms</p>	<p>CHECKED BY:</p>	<p>APPROVED BY: MRA</p>
<p>JOB NUMBER: 1411.0001</p>		<p>DATE: 4-8-21</p>	
<p>SCALE: 1"=30'</p>		<p>SHEET NO: C-3</p>	
<p>CITY DEVELOPMENT ENGINEER</p>		<p>DATE</p>	

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BENCHMARK
 NE Corner Section 6
 T1S, R1W, UTE Meridian
 MCSM #75-1
 Elevation=4540.54

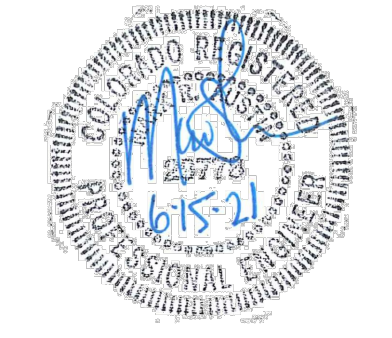
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 (970) 242-7540



CITY OF GRAND JUNCTION SANITARY SEWER	MARK BARSLUND	201-1362
UTE WATER	JIM DAUGHERTY	242-7491
GRAND VALLEY IRRIGATION	CHARLIE GUENTHER	242-2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLUND	201-1362
XCEL ENERGY	BRENDA BOES	244-2681
CENTURY LINK	CHRIS JOHNSON	244-4333
CHARTER	JOHN VALDEZ	245-8750

<ul style="list-style-type: none"> PROPERTY LINE ADJACENT PROPERTY LINE EXISTING EASEMENT PROPOSED EASEMENT EXISTING BUILDING PROPOSED BUILDING EXISTING CURB/GUTTER PROPOSED CURB/GUTTER PROPOSED SPILL CURB/GUTTER PROPOSED TRANSITION CURB/GUTTER EXISTING RETAINING WALL EXISTING 1'-FT CONTOUR EXISTING 5'-FT CONTOUR PROPOSED 1'-FT CONTOUR PROPOSED 5'-FT CONTOUR 	<ul style="list-style-type: none"> EXISTING ASPHALT PROPOSED ASPHALT PROPOSED HEAVY DUTY ASPHALT EXISTING CONCRETE PROPOSED CONCRETE PROPOSED HEAVY DUTY CONCRETE EXISTING SANITARY SEWER PROPOSED SANITARY SEWER EXISTING SANITARY SEWER MANHOLE PROPOSED SANITARY SEWER MANHOLE PROPOSED SANITARY SEWER CLEANOUT EXISTING STORM SEWER PROPOSED STORM SEWER EXISTING STORM SEWER INLET PROPOSED STORM SEWER INLET EXISTING STORM SEWER MANHOLE PROPOSED STORM SEWER MANHOLE 	<ul style="list-style-type: none"> PROPOSED INLINE DRAIN EXISTING 8" WATER MAIN PROPOSED 2" DOMESTIC SERVICE PROPOSED 4" FIRE LINE EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT EXISTING WATER METER PROPOSED WATER METER PROPOSED METER/BACKFLOW VAULT PROPOSED IRRIGATION MANHOLE PROPOSED FENCE EXISTING FENCE PROPOSED TRAFFIC FLOW GRADE BREAK ROOF DRAIN (RD) STREET LIGHT POLE 	<ul style="list-style-type: none"> FIRE DEPARTMENT CONNECTION PARKING LOT LIGHT PROPOSED BUILDING LIGHT POWER POLE FLOWLINE EOP EDGE OF PAVEMENT TOC TOP OF CONCRETE TOW TOP OF WALL BOW BOTTOM OF WALL TBW TOP BACK OF WALK TC TOP OF CURB BOC BACK OF CURB LS LANDSCAPE AREA UTILITY PEDESTALS
---	---	--	--

USE	SQUARE FT	PERCENT
BUILDINGS	52,383	22.6%
LANDSCAPE	35,100	26.2%
ASPHALT/PKG/CONC	118,458	51.2%
TOTAL	281,398	100%

52,383 SF Warehouse 1/1000 SF = 53 Spaces
Total Parking Required = 53 Spaces
Total Parking Provided On Site = 107 Spaces

- GENERAL NOTES:
- CONTACT MARK BARSLUND AT (970) 201-1362 & JOSH MARTINEZ 970-683-4206 FOR A PRE-CONSTRUCTION MEETING PRIOR TO ANY WORK ON THE SITE.
 - ALL PARKING SPACES ARE 9'-FT WIDE X 18.5'-FT LONG UNLESS OTHERWISE NOTED.
 - ALL ADA PARKING SPACES SHALL BE SIGNED AND STRIPED PER CITY OF GJ DETAIL C-24.
 - OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG G ROAD AND LONG ACRE DRIVE.
 - PROVIDE SPLASH BLOCKS A MIN. OF 15' FROM BUILDING.

Due to the presence of moisture sensitive soils at the site, proper site grading is critical to the performance of the structure. In order to improve the long-term performance of the foundations and slabs-on-grade, grading around the structure should be designed to carry precipitation and runoff away from the structure. It is recommended that the finished ground surface drop at least twelve inches within the first ten feet away from the structure. However, where impermeable surfaces (i.e. pavements, sidewalks, etc.) are adjacent to the structure, the grade can be reduced to approximately 2.5-inches (ADA grade) within the first ten feet away from the structure.

HBET recommends that downspout extensions be used which discharge a minimum of 15 feet from the structure or beyond the backfill zone, whichever is greater. However, if subsurface downspout drains are utilized, they should be carefully constructed of solid-wall PVC and should daylight a minimum of 15 feet from the structure. In addition, an impermeable membrane is recommended below subsurface downspout drains. Dry wells should not be used.

BID PACKAGE 2

FOOD BANK OF THE ROCKIES

SITE PLAN DESCRIPTION

2294 TALLGRASS DRIVE

Food Bank of the Rockies

DRAWN BY:	lms
DESIGNED BY:	lms
CHECKED BY:	
APPROVED BY:	MRA

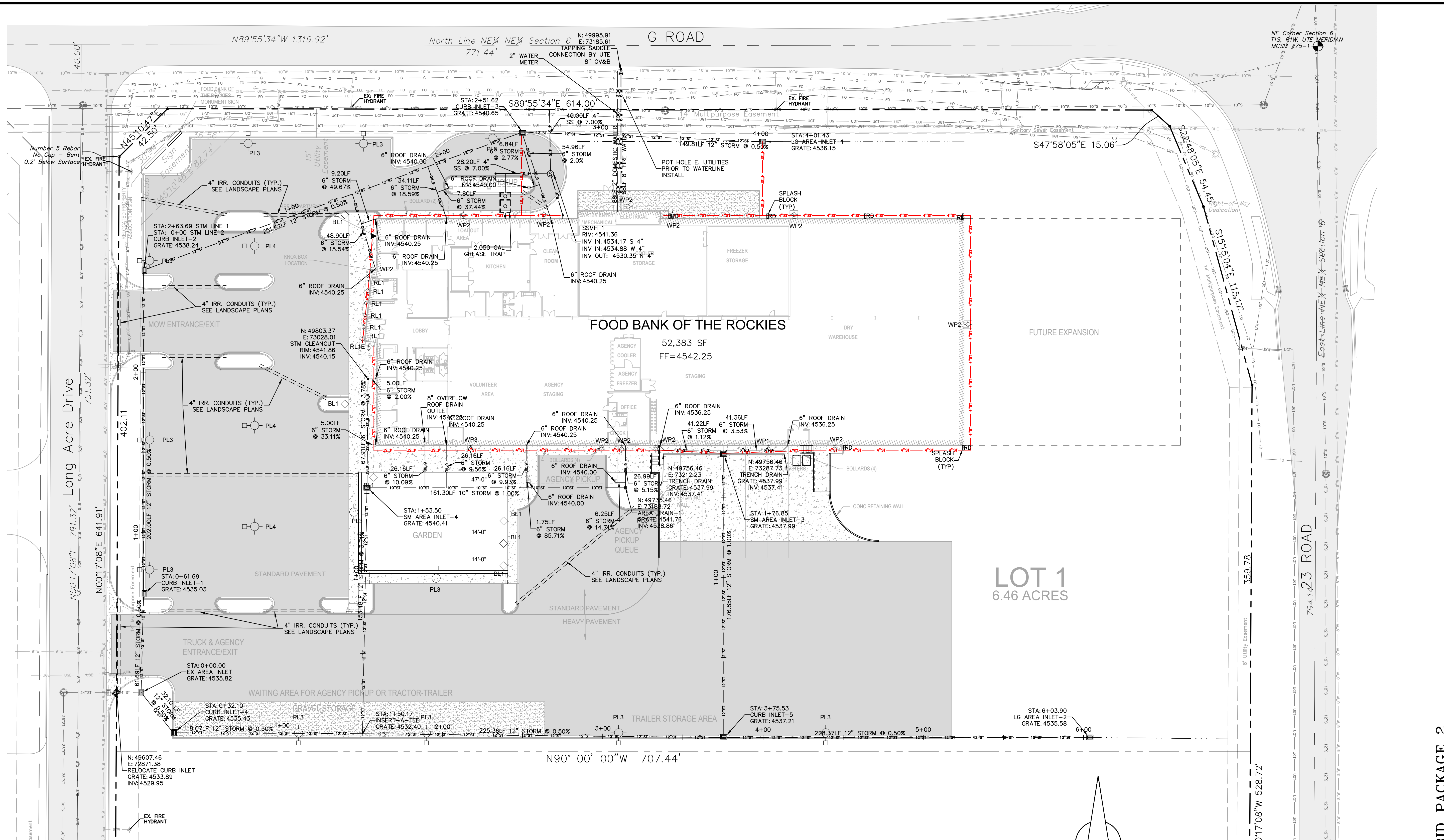
JOB NUMBER: 1411.0001

DATE: 4-8-21

SCALE: 1"=30'

SHEET NO: C-4

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- GENERAL NOTES:**
- ALL EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS IS A QUALITY LEVEL "C", UNLESS OTHERWISE NOTED.
 - OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG G ROAD & LONG ACRE DRIVE.
 - "AREA DRAINS" ARE TO BE 12" "NYLOPLAST" DRAIN BASINS OR EQUAL WITH A STANDARD 12" SQUARE PEDESTRIAN GRATE UNLESS OTHERWISE NOTED.

UTILITIES AND AGENCIES		
CITY OF GRAND JUNCTION SANITARY SEWER	MARK BARSLUND	201-1362
UTE WATER	JIM DAUGHERTY	242-7491
GRAND VALLEY IRRIGATION	CHARLIE GUENTHER	242-2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLUND	201-1362
XCEL ENERGY	BRENDA BOES	244-2681
CENTURY LINK	CHRIS JOHNSON	244-4333
CHARTER	JOHN VALDEZ	245-8750

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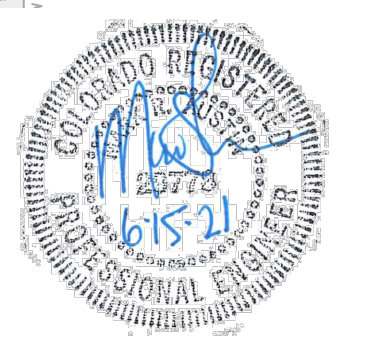
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(970) 242-7540

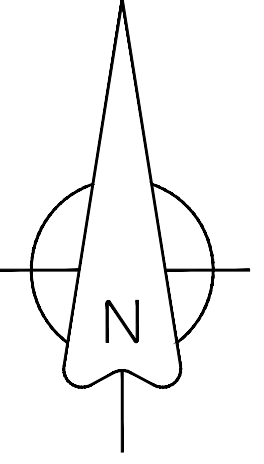
BID PACKAGE 2
FOOD BANK OF THE ROCKIES
UTILITY COMPOSITE PLAN
2294 TALLGRASS DRIVE
prepared for
Food Bank of the Rockies

DRAWN BY:	lms
DESIGNED BY:	lms
CHECKED BY:	MRA
APPROVED BY:	MRA
JOB NUMBER:	1411.0001
DATE:	4-8-21
SCALE:	1"=30'
SHEET NO.:	C-5



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CITY DEVELOPMENT ENGINEER DATE



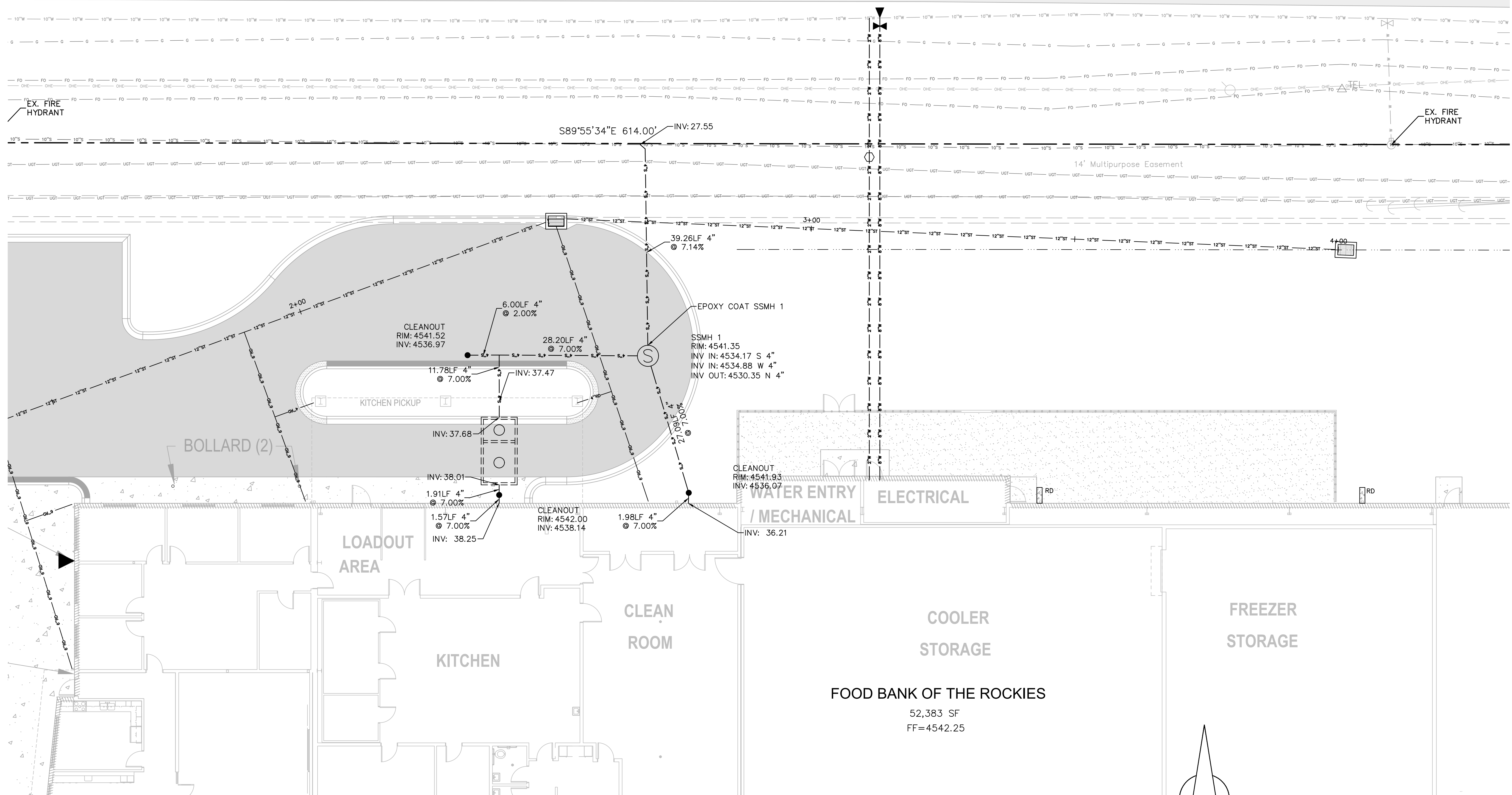
BENCHMARK
NE Corner Section 6
T1S, R1W, UTE Meridian
MCSM #75-1
Elevation=4540.54

Utility/ACG/Drawn/Checked/2021/04/08/09:00 AM - Food Bank of the Rockies/Civil/Utility/Composite/2294 Tallgrass Drive/2021/04/08/09:00 AM

North Line NE 1/4 NE 1/4 Section 6

G ROAD

771.44'



GENERAL NOTES:

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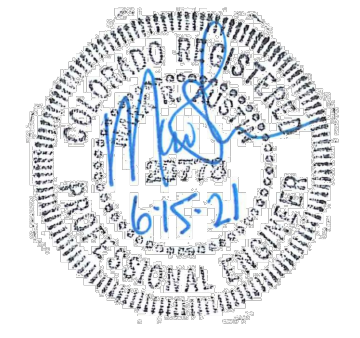
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	DESCRIPTION		

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BID PACKAGE 2
FOOD BANK OF THE ROCKIES
description
SANITARY SEWER PLAN
DESCRIPTION
2294 TALIGRASS DRIVE
prepared for
Food Bank of the Rockies

DRAWN BY:	lms
DESIGNED BY:	lms
CHECKED BY:	MRA
APPROVED BY:	MRA

JOB NUMBER: 1411.0001
DATE: 4-8-21
SCALE: 1"=10'
SHEET NO: C-6



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CITY DEVELOPMENT ENGINEER DATE

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