PLANS FOR CONSTRUCTION OF

FOOD BANK OF THE ROCKIES

JUNE 15, 2021



VICINITY MAP

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THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED B THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE

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- 2. Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging.
- 3. The Contractor shall notify the engineer if unanticipated conditions area encountered during completion of the work which require modifications to the contract drawings. The engineer can be reached at 970-242-7540.
- 4. Contractor shall give 48-hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior commencement of work. Contractor shall assure himself that all construction permits are current.
- 5. Contractor shall confine his construction operations to the right-of-way, easements, and lots, as shown on plans and plat. Any damage to private facilities outside these limits shall be repaired by the Contractor at no expense to the Owner.
- 6. All road construction, related work, materials, performance and quality of work provided shall conform to the requirements of the City of Grand Junction Standard Specifications and Drawings and the applicable sections of the most current edition of the Division of Highways, State of Colorado Standard Specifications for Road and Bridge Construction, Colorado Standard Plans, Division of Highways M & S Standards.
- 7. Contractor shall familiarize himself with the geotechnical testing requirements of the City of Grand Junction. The results of the required types of tests and numbers of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and retests shall be performed until passing results are obtained. All utility lines, including service lines falling shall be tested.
- 8. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for utility trench back fill unless otherwise approved by the Engineer.
- 9. All utility installations are to be performed in accordance with the City of Grand Junction Standard Specifications for the Construction of Underground Utilities and Standard Details.
- 10. All sewer lines must be tested and approved PRIOR to street construction. Contractor is required to notify the Owner's representative PRIOR to testing. The Owner's representative must be present to witness testing of water and sewer lines or the City will not approve the installation.
- 11. In the event of a descrepancy between the construction notes contained herein and the notes and details in the City of Grand Junction Standard Contract Documents for Capital Improvements Construction manual, the City's manual shall
- 12. All work within the City of Grand Junction Right—of—Way shall required a "Work in the Right-of-Way" Permit. All construction work shall be in accordance with the latest edition of the City of Grand Junction Standard Specifications.
- 13. All concrete in driveways to be 6" minimum, Class VI ABC, unless otherwise noted.
- 14. All finished grades around the building perimeter shall slope a minimum of 2% in impervious conditions away from the building for a minimum of 10-ft & 5% in pervious conditions away from the building for a minimum of 10-ft.
- 15. All roof drains that discharge to the finished ground surface shall be provided with splash blocks that extend beyond the building foundation excavation zone.
- 16. The Contractor shall be required to comply with the requirements and recommendations of Huddleston-Berry Geotechnical & Geologic Hazards Investigation report Project #01282-002 dated March 31, 2021 unless otherwise noted.
- 17. All fill, building, concrete or asphalt pavement areas shall be stripped of a minimum 6-inches of topsoil.

PAVING CONSTRUCTION NOTES

- 1. All road widths and radii are to flow line unless noted otherwise. Any "spot" design elevations are to flow line of curb and autter unless otherwise noted.
- 2. Prior to pavement placement, the pavement prism should be stripped of all unsuitable materials. It is recommended that the subgrade soils be scarified to a depth of 12-inches, moisture conditioned, and recompacted to a minimum of 95% of the standard Proctor maximum dry density, within $\pm 2\%$ of optimum moisture as determined by AASHTO T-99.
- 3. Contractor to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered, or filled with dirt or debris by the Contractor shall be cleaned and repaired at no expense to the Owner.
- 4. Where proposed pavement is to match existing pavement, existing pavement is to be squared cut, full base thickness is to be brought to match line and existing surface is to be tack—coated before proposed surface is placed.
- 5. All handicap ramps, sidewalks and curb and gutter are to be constructed where indicated on the plans and in accordance The City of Grand Junction requirements..
- 6. Curb, gutter, and drainage pans are to have expansion joints at each change in horizontal alignment of curb and gutter, but in no case at a greater distance apart than 100 feet. Locate dummy grooved joints between expansion joints at intervals not exceeding 10 feet. Where length of pour precludes 10 foot intervals, the end sections may be less then 10 feet but not less than 5 feet.
- 7. PAVEMENT SECTION: "Hot-Mix Asphalt" 4-inch HMA over 12-inch CDOT Class 6 over 12—inch scarified & recompacted subgrade. "Rigid Pavement" 8—inch Portland Cement Concrete w/ #4 bars @ 16" cntrs., E.W. over 6-inch CDOT Class 6 over 12—inch scarified & recompacted subgrade.

UTILITIES AND AGENCIES CITY OF GRAND JUNCTION SANITARY SEWER UTE WATER JIM DAUGHERTY 242-7491 GRAND VALLEY IRRIGATION 242-2762 CHARLIE GUENTHER CITY OF GRAND JUNCTION PUBLIC WORKS 201-1362 MARK BARSLUND XCEL ENERGY BRENDA BOES 244-2681 CENTURY LINK CHRIS JOHNSON 244-4333 CHARTER JOHN VALDEZ 245-8750

WATER LINE CONSTRUCTION

- CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL BACKFLOW PREVENTION EQUIPMENT AND ABOVE GROUND ENCLOSURES. Double Check Detector Assembly devise shall be "Watts" Series L709DCDA assemblies or FEBCO Masterseries 876VST (N-Pattern), or Ute Water Approved equal.
- 2. Above Ground Enclosures shall be as manufactured by Aqua Shield or WATTS or approved equal and be aluminum, insulated with freeze protection, heated, with service access and mounted on a 4" minimum thick concrete slab. Aqua Shield #NBFP8 or Watts Model # WB-N6 or Ute Water approved Equal
- 3. All water line construction shall be constructed in accordance with the Ute Water District Standards and Specifications.
- 4. Contractor shall notify the Ute Water Conservancy 48 hours prior to the beginning of construction.
- 5. All trenches shall be compacted to 95% within 2% of optimum moisture content, as determined by AASHTO T-99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab.
- 6. Minimum cover required over top of new waterlines is 4'-6".
- 7. All water lines to be DR-18 PVC, Class 150 conforming to AWWA C-900.
- 8. Ductile Iron fittings to conform to AWWA C-110.
- 9. Fire Hydrants shall conform to AWWA C-502, Mueller Super Centurian or Kennedy Guardian.
- 10. All materials labor and equipment required for testing and disinfection of water lines shall be furnished by Contractor. Disinfection of water lines shall conform to AWWA C-651-86 or latest revision thereof. No separate pay.
- 11. All pipe bends/angle points, both horizontal and vertical, as called for on the plans are to be thrust blocked per Ute Water Conservancy District details and Technical Specifications.
- 12. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for water line trench backfill unless otherwise approved by the Engineer.
- 13. All Ute water lines are to be bedded per City of Grand Junction Standards.
- 14. All customer water service lines 2" or less shall be 200 psi rated "Pure Core" Blue HDPE, or approved equal.

STORM SEWER CONSTRUCTION NOTES

- 1. All storm sewer line construction shall be in accordance with the City of Grand Junction Standards and Specifications.
- 2. All Reinforced Concrete storm sewer pipe shall conform to ASTM Standard Specifications, C-76, Class III unless otherwise noted.
- 3. All polyvinyl chloride (PVC) pipe and fittings shall conform to ASTM Standard Specifications, D3034 and F679, SDR-35 unless otherwise noted.
- 4. All High Density Polyethylene (HDPE) pipe and fittings shall be smooth bore and shall conform to the following:
 - 12 inch to 36 inch shall meet ASSHTO M294
 - 42 inch to 48 inch shall meet ASSHTO MP6 All HDPE pipe up to 30" shall be backfilled to springline with Class-6.

FUGITIVE DUST CONTROL PLAN

- 1. Before stripping of the site preparation for overlot grading, the surface is to be pre-wet to control dust.
- 2. Any stockpiles of stripping materials are to be periodically sprayed with water or a crusting agent to stabilize potentially wind blown material.
- 3. Haul road both into and around the site are to be sprayed as needed to suppress dust.
- 4. The Storm Water Management Plan and permit shall be obtained and kept onsite before starting any construction work. Gravel pads are to be constructed at the entrances to the site to help in removing mud from the wheels of haulage trucks before they enter onto City streets.
- 5. Trucks hauling import fill are to be tarped to aid in the control of airborne dust.

Summary of Pavement Recommendations

Automobile Parking Areas EDLA = 5, Structural Number = 2.75

	PAVEMENT SECTION (Inches)				
ALTERNATIVE	Hot-Mix Asphalt	CDOT Class 6	CDOT Class 3 Subbase	Concrete	
	Pavement	Base Course	Course	Pavement	TOTAL
A	3.0	10.0			13.0
В	4.0	7.0			11.0
C	3.0	6.0	6.0		15.0
Rigid Pavement		6.0		6.0	12.0

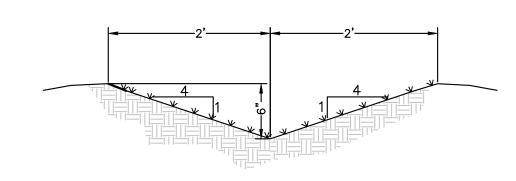
Truck Traffic Areas

DLA = 20, Structural Number = 3.50					
		PA			
ALTERNATIVE	Hot-Mix				

DLA – 20, Siruciu	rai Number – 3.	30				
	PAVEMENT SECTION (Inches)					
ALTERNATIVE	Hot-Mix Asphalt Pavement	CDOT Class 6 Base Course	CDOT Class 3 Subbase Course	Concrete Pavement	TOTAL	
A	3.0	15.0			18.0	
В	4.0	12.0			16.0	
С	3.0	6.0	13.0		22.0	
Rigid Pavement		6.0		8.0	14.0	

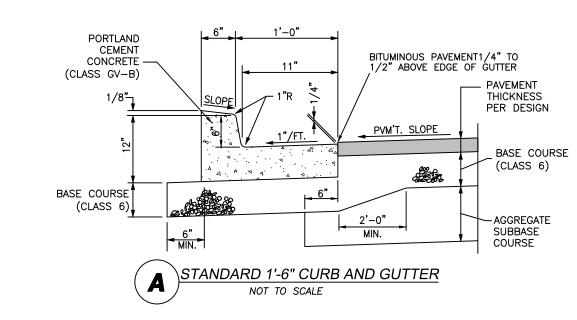
SANITARY SEWER CONSTRUCTION NOTES

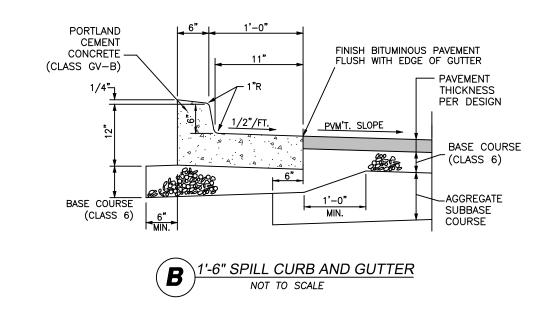
- 1. All materials and workmanship shall comply to the Standards and Specifications of the City of Grand Junction. The City of Grand Junction reserves the right to accept or reject any materials and or workmanship that does not conform.
- 2. The Contractor shall have one signed copy of plans and a copy of the City of Grand Junction Standards and Specifications at the job site at all times.
- 3. All sanitary sewer pipe shall be PVC SDR-35 (ASTM 3034) unless otherwise specified.
- 4. All sewer lines to be laid to grade utilizing a "pipe laser".
- 5. All connections to the new sewer lines shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed, except as noted.
- 6. All trenches shall be compacted to 95% within 2% of optimum moisture content, as determined AASHTO T-99.
- 7. A minimum of 10 ft. of separation shall be maintained at all times between the waterline and sewer line except at specified crossings.
- 8. The contractor is responsible for all required sewer line testing to be completed in accordance with the City of Grand Junction Standards and Specifications. Final testing to be accomplished only after all other infrastructure has been installed. This includes waterlines, gas lines, electric lines, etc. Testing will be performed after all compaction of street subgrade and prior to street paving. Final lamping will also be accomplished after paving is completed to insure that the line is clean. These tests will be the basis for issuing the initial acceptance of the seer line extension.
- 9. Manholes shall be constructed as shown on the City of Grand Junction Standard Sanitary Sewer Detail sheets SS-02 of SS-03 as appropriate.
- 10. Water stop gaskets and clamp assemblies are to be furnished and installed at all connections to manholes. No separate pay.
- 11. Metal arade rinas are NOT to be used on tip of manhole rinas to adjust to finish pavement elevations. All adjustments to finish grade on new manholes shall be made using concrete grade rings and grout as shown on the standard details.
- 12. Where sanitary sewers cross under a water line with less than 18 inches of vertical separation, and in all cases where the sanitary sewer crosses over the waterline at any depth, provide total concrete encasement of pipe for a length of 10 feet to either side of the waterline.
- 13. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for sewer line trench backfill unless otherwise approved by the Engineer.
- 14. To inhibit the movement of ground water through sewer bedding and haunching material, clay cutoff wall of native material are to be constructed approximately 10 feet upstream from each manhole and shown on sanitary sewer plan and profiles.
- 15. Notify the City of Grand Junction 48 hours prior to the construction of the sanitary sewer facilities.
- 16. The contractor shall obtain a City of Grand Junction Street Cut Permit for all work within existing City right-of-way prior to construction.

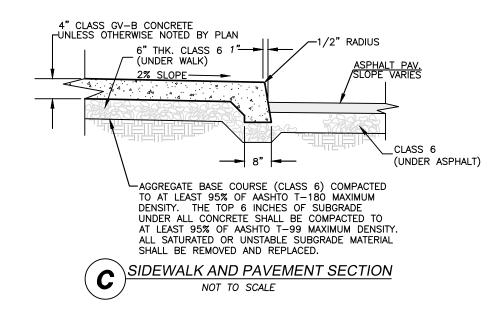


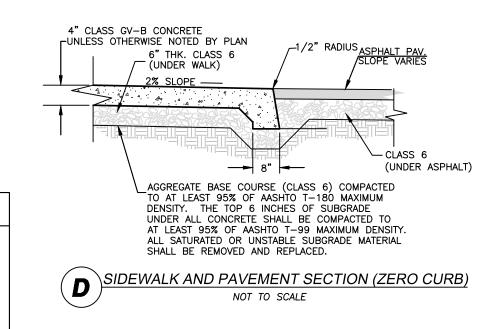
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PROPERTY LINE ADJACENT PROPERTY LINE PROPOSED EASEMENT PROPOSED EASEMENT EXISTING BUILDING EXISTING CURB/GUTTER PROPOSED SPILL CURB/GUTTER PROPOSED TRANSITION CURB/GUTTER EXISTING RETAINING WALL EXISTING 1-FT CONTOUR PROPOSED 1-FT CONTOUR PROPOSED 5-FT CONTOUR PROPOSED 5-FT CONTOUR PROPOSED ASPHALT PROPOSED ASPHALT PROPOSED ASPHALT PROPOSED HEAVY DUTY ASPHALT EXISTING CONCRETE PROPOSED HEAVY DUTY CONCRETE EXISTING SANITARY SEWER SEXISTING SANITARY SEWER SEXISTING SANITARY SEWER SEXISTING SANITARY SEWER MANHOLE PROPOSED SANITARY SEWER MANHOLE PROPOSED STORM SEWER EXISTING STORM SEWER INLET PROPOSED STORM SEWER MANHOLE PROPOSED STORM SEWER MANHOLE PROPOSED STORM SEWER MANHOLE	PROPOSED INLINE DRAIN PROPOSED 2" DOMESTIC SERVICE PROPOSED 4" FIRE LINE EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT PROPOSED WATER METER PROPOSED WATER METER PROPOSED METER/BACKFLOW VA PROPOSED IRRIGATION MANHOLE PROPOSED FENCE PROPOSED FENCE PROPOSED TRAFFIC FLOW FIRE DEPARTMENT CONNETION FIRE DEPARTMENT CONNETION PARKING LOT LIGHT PROPOSED BUILDING LIGHT PROPOSED BUILDING LIGHT PROPOSED BUILDING LIGHT PROPOSED FORE FL FLOWLINE FOP EDGE OF PAVEMENT TOC TOP OF CONCRETE TOW TOP OF WALL BOW BOTTOM OF WALL TBW TOP BACK OF WALK TC TOP OF CURB BOC BACK OF CURB LS LANDSCAPE AREA UTILITY PEDESTALS					

TYPICAL CONCRETE SECTIONS











ACCEPTANCE BLOCK THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED I THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OF OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE

CITY DEVELOPMENT ENGINEER

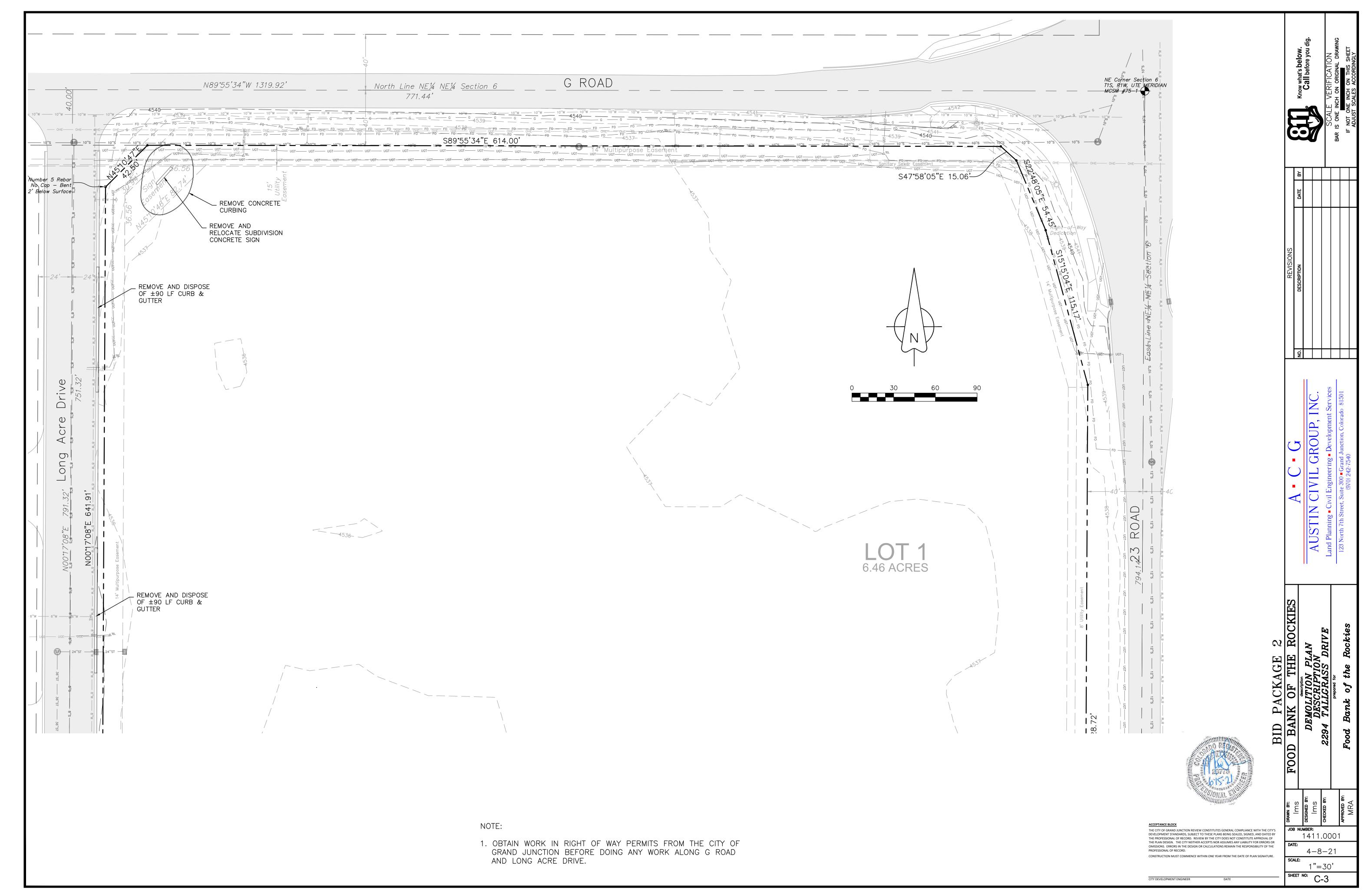
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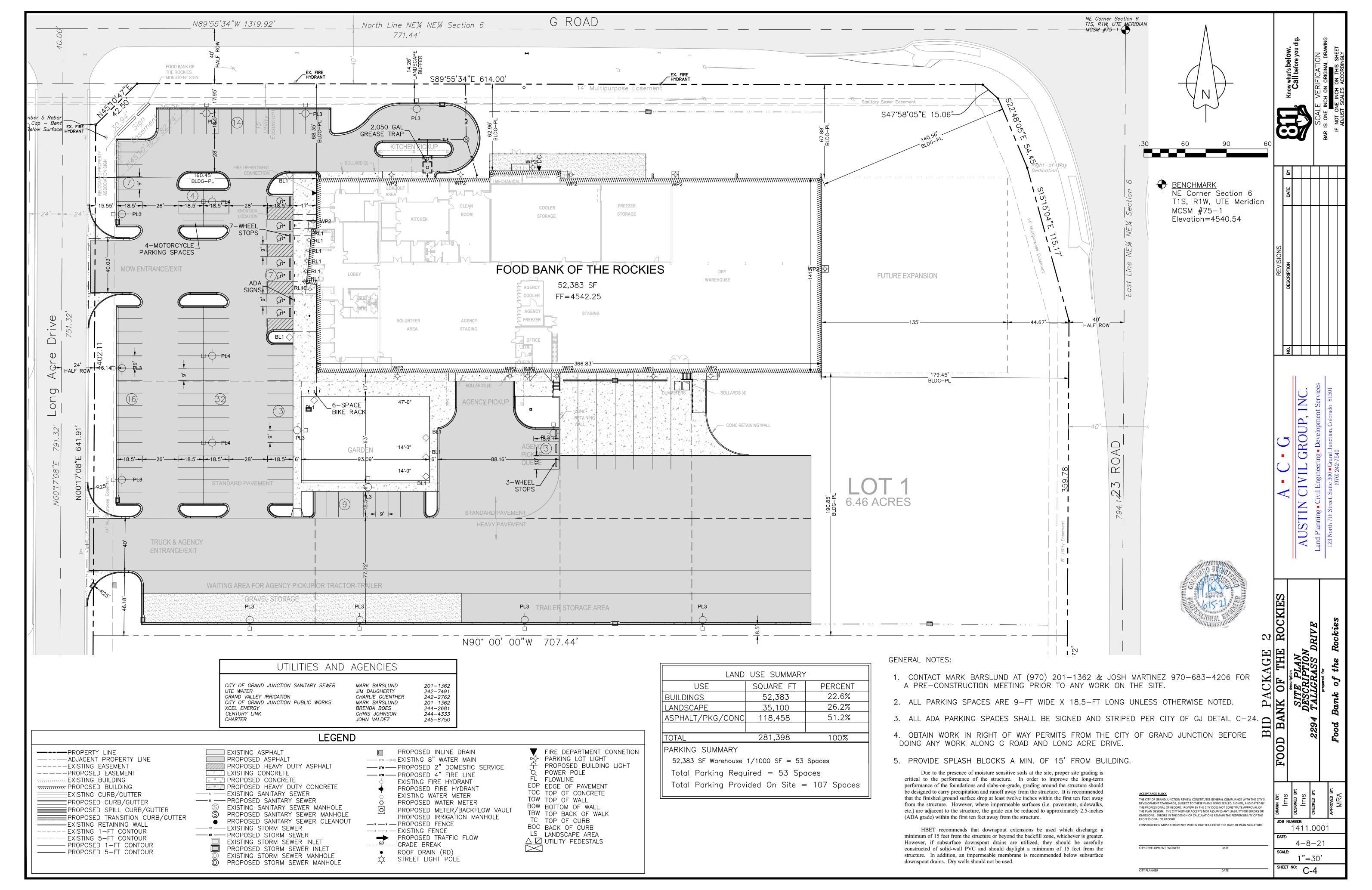
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2 ROCKIES NOTES

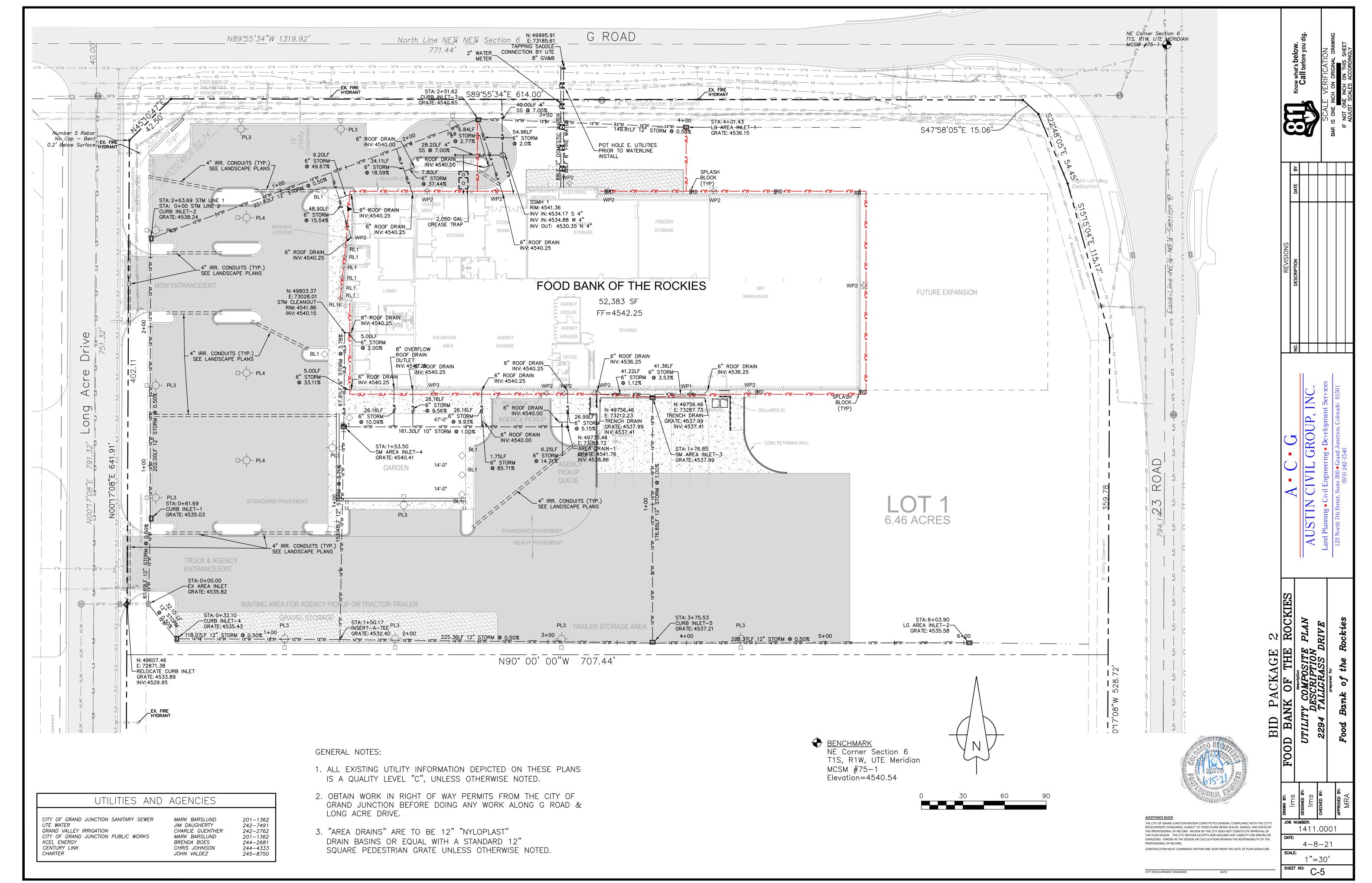
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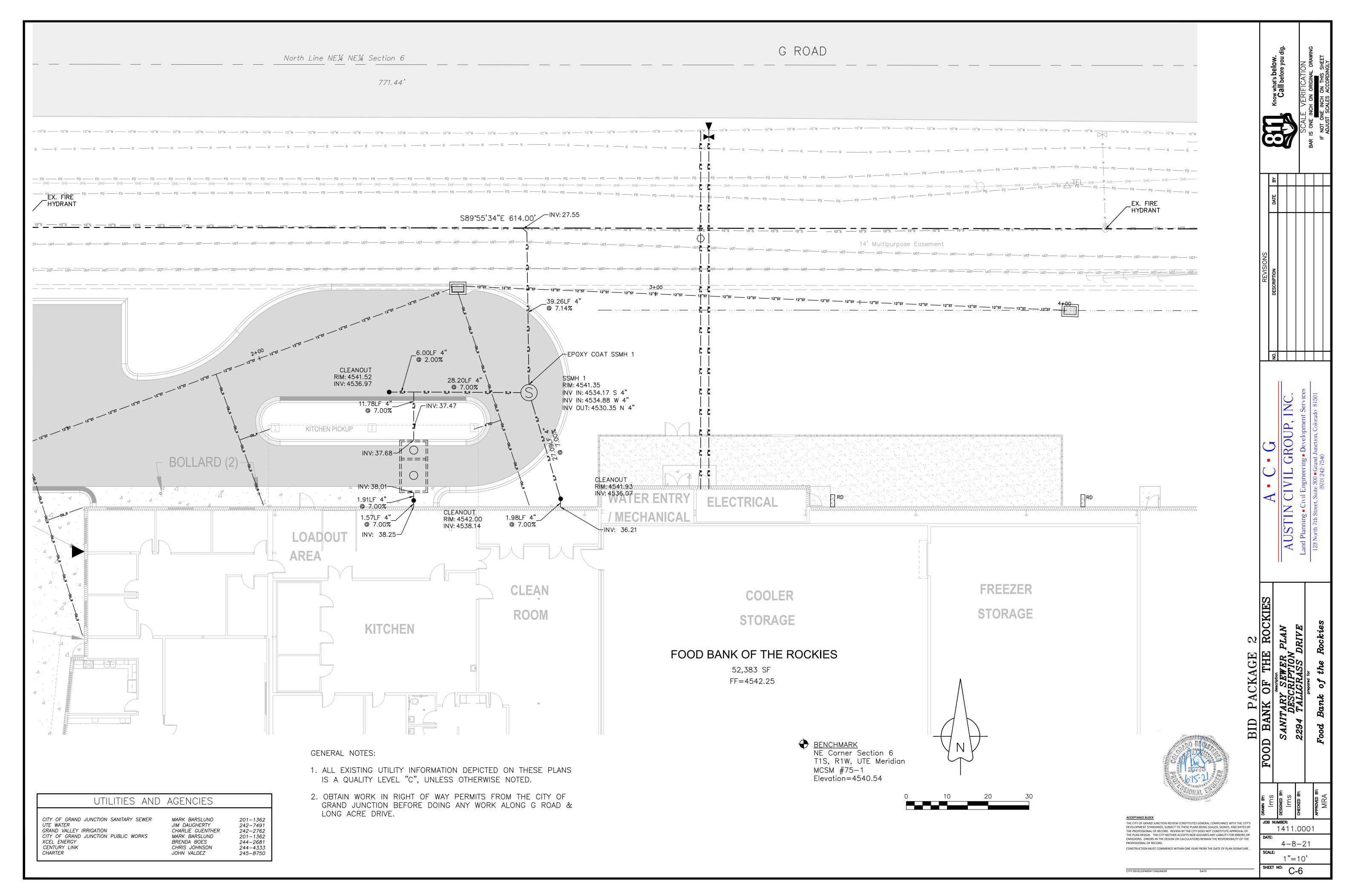
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