

Chamberlin Architects, P.C.
437 Main Street
Grand Junction, CO 81501

ADDENDUM #6

Western Slope Food Bank of the Rockies
698 Long Acre Drive

Bid Package #3 – Foundations

Architect's Project No. 2108

September 10, 2021

The original Project Manual dated 6/15/21 and Drawings dated on 6/15/21, for the project noted above are amended as noted in this Addendum. This Addendum may include revised Drawings that are to be inserted in the correct sequence in the Construction Issue. All bidders are required to include the items listed in the Addendum as part of their bid. This Addendum consists of **two (2)** page plus attachments.

Drawing changes are clouded.

Text deleted from the project manual by this addendum is indicated by Strikethrough (~~example~~). New text included in the Project manual is indicated in double underline typeface (example).

This addendum is issued to coordinate with design progress and changes made in Bid Package #4.

<u>ITEM NO.</u>	<u>DESCRIPTION</u>
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PROJECT MANUAL

- | | |
|--------|---|
| ADD6-1 | Table of Contents: Add Section 072600 Vapor Retarders. |
| ADD6-2 | Section 012300 Alternates, Part C: Delete references to Cooler in Alternate #3. (This alternate applies only to the Kitchen Freezer floor, not the cooler, as previously clarified on the drawings.) |
| ADD6-3 | Section 033000 Cast-In-Place Concrete: Add the following paragraph
1.2.B.2
2. Section 033500 "Concrete Finishing" for treatment of slabs to receive cure-densifier-hardener. |
| ADD6-4 | Section 033000 Cast-In-Place Concrete: Delete parts 2.7 Vapor Retarder and, 2.8 Floor and Slab Treatments, 3.5 Vapor Retarders, and 3.14 Liquid Floor Treatments.
(Vapor Retarder was removed since this now appears as a complete spec section in BP#4; Penetrating Liquid Floor Treatment was removed since the densifier was added in BP#4 in Section 033500 Concrete Finishing;) |

ARCHITECT: Chamberlin Architects, P.C.

BY: Eric Mendell, AIA

ADD6-5 Add the attached Section 072600 Vapor Retarders. (This section was previously included in Bid Package #4. The only change other than moving it into Bid Package #3 is the addition of another acceptable manufacturer and product.)

DRAWINGS

ADD6-6 Sheet S102 Foundation Plan – West: Delete sheet and replace with attached reissued sheet S102.

ADD6-7 Sheet P101 Main Level Underground Plumbing Plan – West: Delete sheet and replace with attached reissued sheet P101.

END OF ADDENDUM 6

ARCHITECT: Chamberlin Architects, P.C.

BY: Eric Mendell, AIA

SECTION 072600 - VAPOR RETARDERS

PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes the following:
 - 1. Below grade vapor retarders.
- B. Related Sections include the following:
 - 1. Section 033000 – Cast-in-Place Concrete, for slabs on grade.
 - 2. Section 133419 – Metal Building Systems, for above ground vapor retarder and accessories installed in pre-engineered metal building systems.

1.2 DEFINITIONS

- A. Vapor Retarder: A material or system designed to impede the transmission of water vapor, with a permeance rating not exceeding 1-perm.

1.3 SUBMITTALS

- A. Product Data: For the following:
 - 1. Vapor retarders under slabs-on-grade.
 - 2. Vapor retarders for interior walls.
 - 3. Vapor retarder tapes and accessories for each application.
- B. Product Test Reports: Based on evaluation of comprehensive tests performed by a qualified testing agency for insulation products.

1.4 QUALITY ASSURANCE

- A. Source Limitations: Obtain each type of vapor retarder through one source from a single manufacturer.
- B. Fire-Test-Response Characteristics: Provide materials with the fire-test-response characteristics indicated, as determined by testing identical products per test method indicated below by UL or another testing and inspecting agency acceptable to authorities having jurisdiction. Identify materials with appropriate markings of applicable testing and inspecting agency.
 - 1. Surface-Burning Characteristics: ASTM E 84.
 - 2. Fire-Resistance Ratings: ASTM E 119.
 - 3. Combustion Characteristics: ASTM E 136.

PART 2 - PRODUCTS

2.1 BELOW-GRADE VAPOR RETARDERS

- A. VAPOR RETARDER-1: Polyolefin film-type product complying with ASTM E 1745, Class A.
1. Products: One of the following:
 - a. Fortifiber Corporation; Moistop Ultra 15.
 - b. Raven Industries Inc.; Vaporblock 15.
 - c. Reef Industries, Inc.; Griffolyn 15-mil.
 - d. W.R. Meadows, Sealtight Perminator 15-mil.
 - e. Stego Industries, LLC; Stego Wrap 15-mil.
 - f. Viper VaporCheck II 15-mil.
 2. Thickness: Minimum 15-mil.
 3. Location: Under slabs-on-grade. Refer to drawings for vertical location.
- B. Vapor Retarder Joint Tape: Manufacturer's recommended adhesive or pressure-sensitive joint tape, with a maximum perm rating of 0.3-perms.

PART 3 - EXECUTION

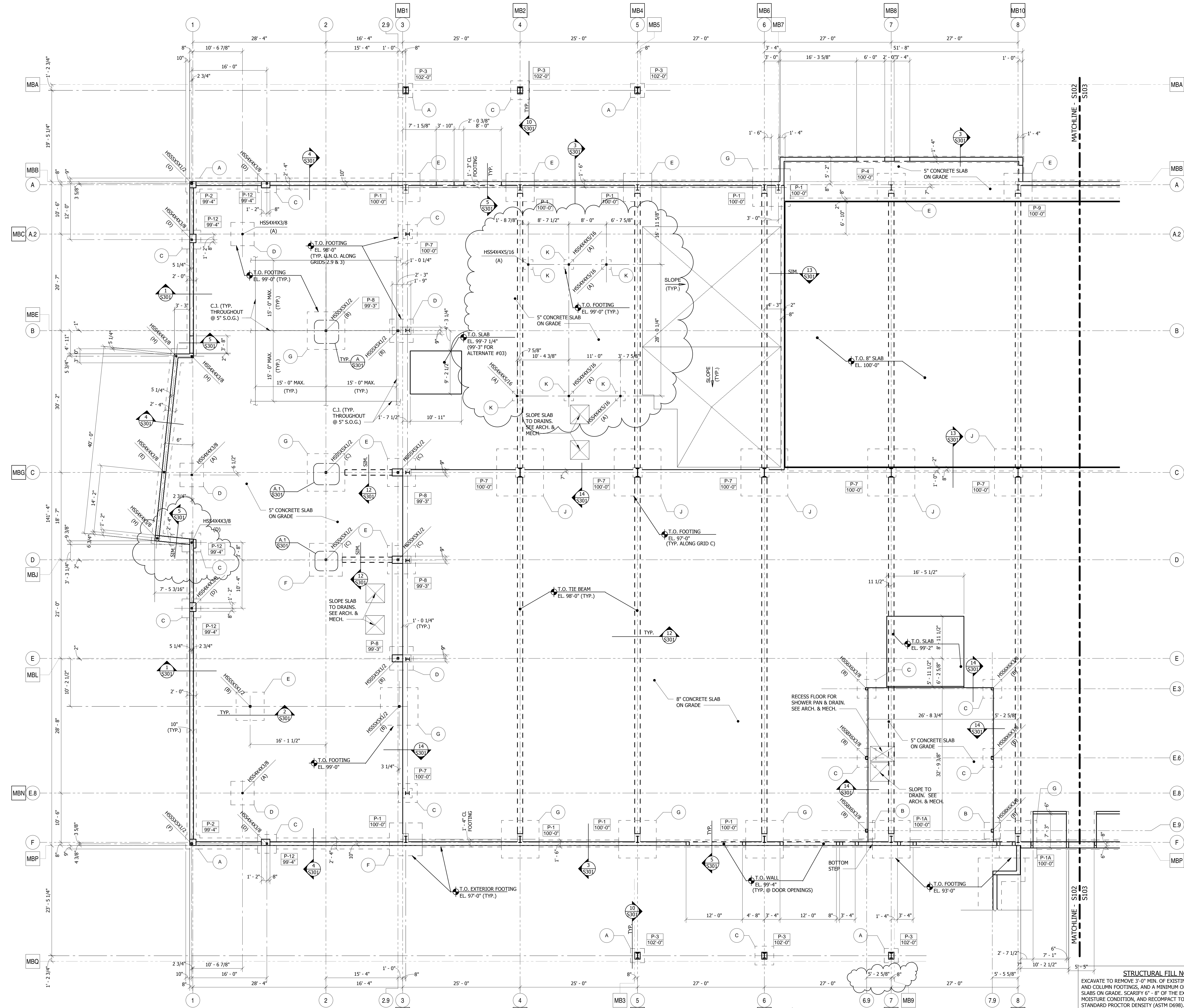
3.1 INSTALLATION, BELOW-GRADE VAPOR RETARDER

- A. Vapor Retarder Under Slabs-on-Grade: Place, protect, and repair vapor retarders according to ASTM E 1643 and manufacturer's written instructions.
1. Comply with manufacturer's instructions related to membrane orientation and lapping pattern.
 2. Lap joints 6 inches and seal with manufacturer's recommended tape.
 3. Coordinate installation of vapor retarder with penetrations. Seal around all penetrations through membrane.

3.2 PROTECTION

- A. Protect installed above-grade vapor retarders from damage due to harmful weather exposures, physical abuse, and other causes. Provide temporary coverings or enclosures where insulation is subject to abuse and cannot be concealed and protected by permanent construction immediately after installation.

END OF SECTION 07 2600



NOTE:
FOUNDATION DESIGN IS BASED UPON PRELIMINARY METAL BUILDING FRAME AND ENDWALL LAYOUTS AND PRELIMINARY COLUMN REACTIONS. FINAL METAL BUILDING REACTIONS AND ANCHOR BOLT LOCATIONS MUST BE MADE AVAILABLE TO THE STRUCTURAL ENGINEER FOR COORDINATION WITH FOUNDATION ASSUMPTIONS AND REVISIONS TO FOUNDATION DRAWINGS AS NEEDED PRIOR TO CONSTRUCTION.

FOUNDATION PLAN - WEST
1/8" = 1'-0" NORTH

1. TOP OF SLAB ELEVATION = 100'-0" (TYP. U.N.O.)
2. REINFORCE 5" CONCRETE SLABS ON GRADE WITH #4 @ 16 EACH WAY. PLACE IN TOP HALF OF SLAB.
3. REINFORCE 5" CONCRETE SLABS ON GRADE WITH #5 @ 12 EACH WAY, TOP AND BOTTOM.
4. VERIFY DOOR OPENING LOCATIONS AND DIMENSIONS AGAINST ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.

STRUCTURAL FILL NOTES
EXCAVATE TO REMOVE 3'-0" MIN. OF EXISTING SOILS BELOW WALL AND COLUMN FOOTINGS, AND A MINIMUM OF 2'-6" BELOW INTERIOR SLABS ON GRADE. SCARIFY 6" - 8" OF THE EXPOSED SUBGRADE, MOISTURE CONDITION, AND RECOMPACT TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY (ASTM D698). REMOVE AND REPLACE ANY SOFT MATERIALS BELOW THE BOTTOM OF EXCAVATION WITH IMPORTED STRUCTURAL FILL AND GEOSGRID, IF REQUIRED, PER THE SOILS REPORT. REPLACE THE REMOVED SOILS WITH IMPORTED STRUCTURAL FILL CONSISTING OF 1/4" MINUS CRUSHER FINES OR COOT CLASS 6 MATERIAL, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY (ASTM D698) IN 8" MAXIMUM LIFTS. STRUCTURAL FILL MATERIAL BELOW WALL AND COLUMN FOOTINGS SHALL EXTEND 3'-0" MIN. HORIZONTALLY FROM EACH EDGE OF THE FOOTINGS. SEE SOILS REPORT.

FOOD BANK OF THE ROCKIES

2295 TALL GRASS DRIVE
GRAND JUNCTION, COLORADO

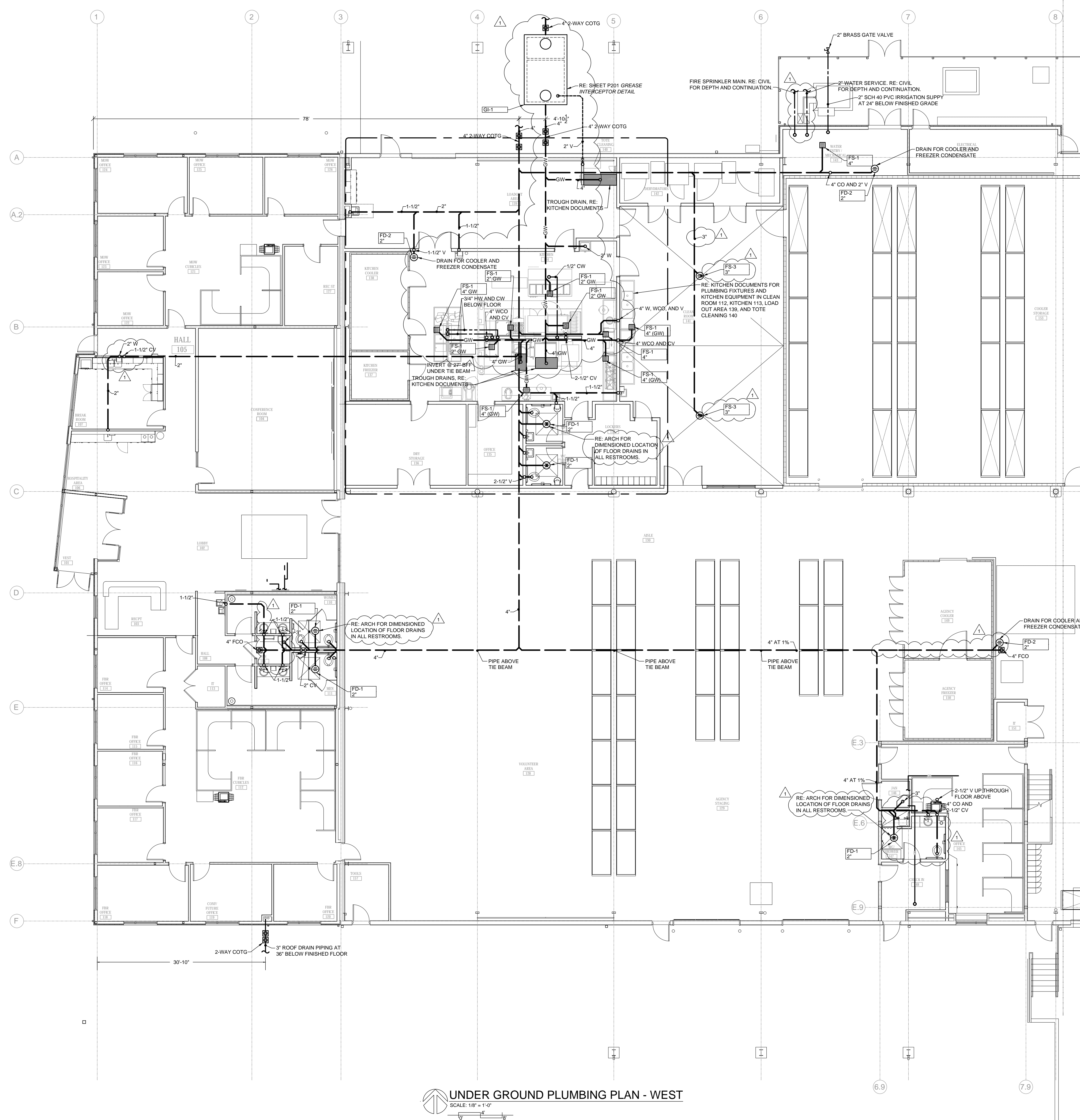
FOUNDATION PLAN - WEST

NO.	ISSUED FOR:	DATE:
1	BP 03 Addendum 02	06/24/21
2	BP 03 Addendum 03	08/02/21
3	BP 03 Addendum 06	09/10/21

PROJECT STATUS: 100%
CONSTRUCTION DOCUMENTS

DATE: **08/24/21** SHEET NO:
S102

PROJECT NO:
21.029



UNDER GROUND PLUMBING PLAN - WEST
SCALE: 1/8" = 1'-0"

GENERAL NOTES
 THE PLUMBING CONTENT OF THE PLUMBING DRAWINGS IS DIAGRAMMATIC AND NOT NECESSARILY TO SCALE.
 THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO LOCATIONS OF DUCTWORK, EQUIPMENT, PIPING, AND SUPPORTS IN ORDER TO COORDINATE WITH BUILDING CONSTRUCTION AND WORK OF OTHER TRADES.
 REFER TO SCHEDULES AND SPECIFICATIONS FOR EQUIPMENT AND MATERIALS OF CONSTRUCTION.
 INSTALL WASTE PIPING CLEANOUTS WHERE INDICATED AND AS REQUIRED BY 2018 INTERNATIONAL PLUMBING CODE. GAINING ACCESS TO SOIL PIPING FOR CLEANOUT BY REMOVAL OF A TOILET IS NOT A CODE-COMPLIANT CLEANOUT AND WILL NOT BE ACCEPTED.
 NO VENT PIPING HAS BEEN SHOWN. FIXTURES SHALL BE VENTED IN COMPLIANCE WITH 2018 IPC.
 REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONED LOCATION OF FLOOR DRAINS IN ALL RESTROOMS.

CA
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FOOD BANK OF THE ROCKIES

2294 TALL GRASS DRIVE
 GRAND JUNCTION, COLORADO
**MAIN LEVEL UNDER
 GROUND PLUMBING
 PLAN - WEST**

NO. ISSUED FOR: DATE:
 ADDENDUM #6 09/10/2021
 BID PACKAGE #3, FOUNDATIONS

DATE: 06/15/2021 SHEET NO:
 PROJECT NO: **P101**
 2108