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FOOD BANK OF THE **ROCKIES**

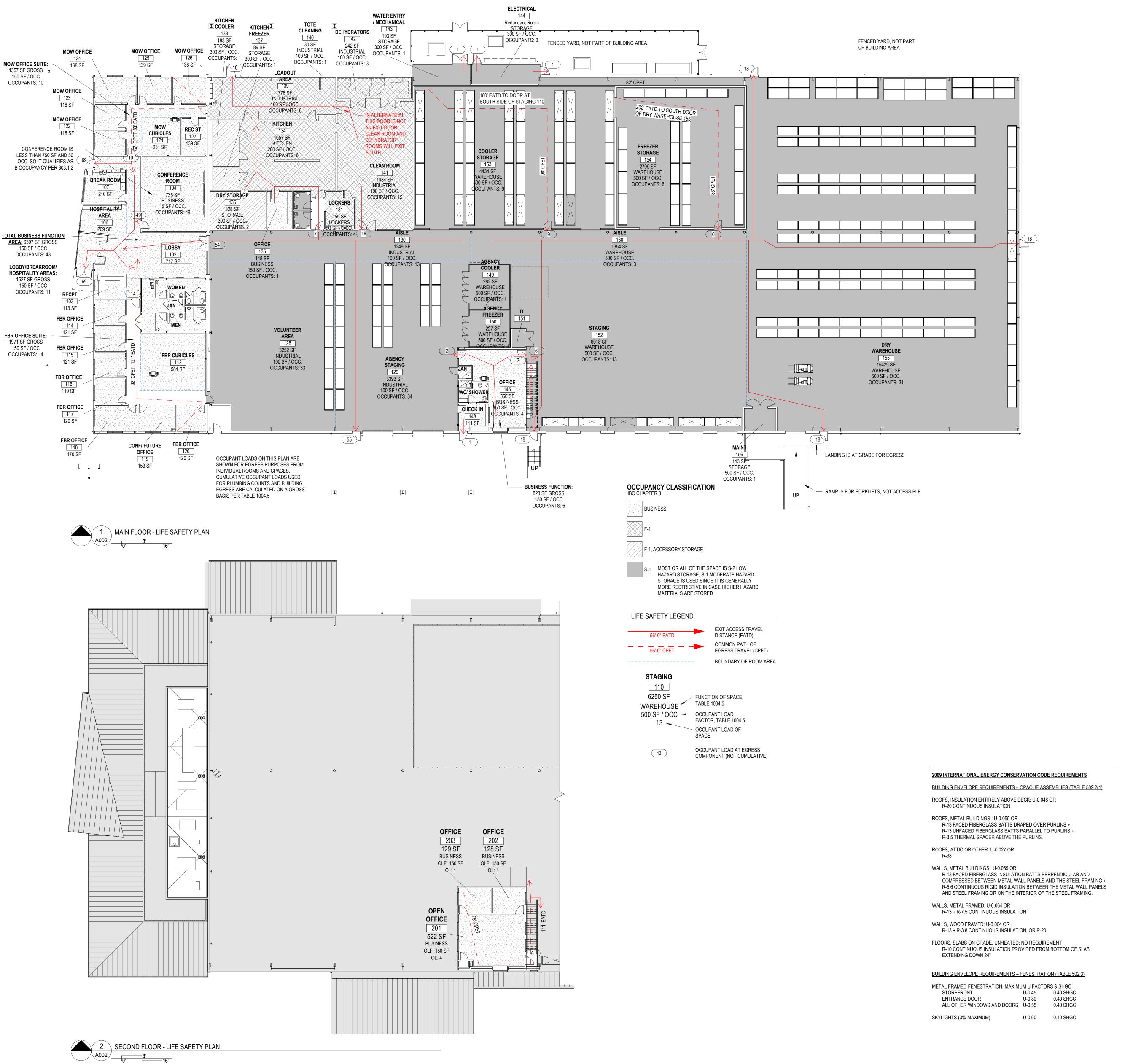
698 LONG ACRE DRIVE

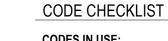
NOTES, SYMBOLS, **ABBREVIATIONS AND**

ISSUED FOR:

100% CONSTRUCTION DOCUMENTS **BID PACKAGE #4, ABOVE GROUND**

8/25/2021 SHEET NO:





CODES IN USE:

2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2018 INTERNATIONAL FUEL GAS CODE (IFGC)
2021 NATIONAL ELECTRICAL CODE (NEC)

USE AND OCCUPANCY CLASSIFICATION, CHAPTER 3

TYPE OF OCCUPANCY

BUSINESS, B: OFFICE AREA SINCE CONFERENCE, HOSPITALITY AREA AND LOBBY WAITING AREAS ARE EACH LESS THAN 750 SF OR 50 OCCUPANTS, THESE AREAS ARE CONSIDERED GROUP B PER SECTION 303.1.2.

FACTORY F-1: FOOD PROCESSING AND COMMERCIAL KITCHENS NOT ASSOCIATED WITH RESTAURANTS OR SIMILAR AND MORE THAN 2,500 SF

STORAGE S1, MODERATE-HAZARDS STORAGE: DEPENDING ON COMBUSTIBILITY OF PRODUCTS OR PACKAGING

STORAGE S-2, LOW-HAZARDS STORAGE: INCLUDES FOOD PRODUCTS AND FOODS IN NONCOMBUSTIBLE CONTAINERS, FROZEN FOODS. MOST OR ALL STORAGE WILL FALL UNDER THIS CATEGORY, BUT S-1 IS USED SINCE IT IS GENERALLY MORE RESTRICTIVE

GENERAL BUILDING HEIGHTS AND AREAS, CHAPTER 5

BUILDING AREA:

FIRE FLOW CALCULATION AREA

MAIN LEVEL BUILDING AREA:

ROOF OVERHANGS: 1,054 + 1,363 + 1,230 +62 = 3,709

BUILDING AREA, CURRENT MAIN LEVEL

55,268 SF

2ND FLOOR OFFICES: 835
TOTAL FIRE AREA 56,103 3

LESS THAN 60' WIDE.

FUTURE EXPANSION 15,020
TOTAL FIRE AREA, FUTURE 71,123 SF

ALLOWABLE AREA: UNLIMITED
ALLOWED PER 507.5 FOR TWO STORY BUILDING, GROUP B, F, M OR S WITH AUTOMATIC SPRINKLER SYSTEM WHEN THE

BUILDING IS SURROUNDED BY PUBLIC WAYS OR YARDS NOT

NUMBER OF STORIES: 2 (SINGLE STORY EXCEPT DOCK OFFICE AREA) ALLOWABLE STORIES: 2 (PER 507.5)

BUILDING HEIGHT: 39'-11" FROM MAIN FLOOR TO BUILDING PEAK
29'-10" AVERGARE GRADE PLANE TO ROOF EAVE,
USED FOR FIRE TRUCK ACCESS REQUIRMENTS

ALLOWABLE HEIGHT: 60 FT

OCCUPANCY SEPARATION: NON-SEPARATED,
PER 508.3.2 THE MOST RESTRICTIVE OCCUPANCY
GROUPS ARE USED TO DETERMINE ALLOWABLE
BUILDING HEIGHT AND AREA.

INCIDENTAL USES: NONE

TYPES OF CONSTRUCTION, CHAPTER 6 TYPE OF CONSTRUCTION: Type V-B

ROOF CONSTRUCTION

STRUCTUREAL ELEMENTS, EXTERIOR WALLS AND INTERIOR WALLS ARE OF ANY MATERIALS PERMITTED BY CODE.

BUILDING ELEMENT RATINGS, TABLE 601
PRIMARY STRUCTURAL FRAME
EXTERIOR BEARING WALLS
INTERIOR BEARING WALLS
NONBEARING WALLS & PARTITIONS (EXTERIOR)
NONBEARING WALLS & PARTITIONS (INTERIOR)
FLOOR CONSTRUCTION

MEANS OF EGRESS, CHAPTER 10

OCCUPANT LOAD

FUNCTION AREA (GROSS) OCC LOAD FACTOR OCCUPANT LOAD
BUSINESS 8,036 SF 150 GROSS 54
KITCHEN 1,053 SF 200 GROSS 6
INDUSTRIAL: 10,741 SF 100 GROSS 108
WAREHOUSE: 30,912 SF 500 GROSS 62
STORAGE 907 SF 300 GROSS 4
TOTAL 234

TABLE 1006.2.1 (SPACES WITH ONE EXIT OR ACCESS DOORWAY)

TABLE 1017.2 (EXIT ACCESS TRAVEL DISTANCE)

GROUPS A, F-1, S-1: 250 FEET W/ SPRINKLER SYSTEM
GROUP B: 300 FEET W/ SPRINKLER SYSTEM
GROUP S-2: 400 FEET W/ SPRINKLER SYSTEM

ACCESSIBILITY, CHAPTER 11
1104.4 MULTISTORY BUILDINGS AND FACILITIES: SECOND FLOOR DOES NOT REQUIRE ELEVATOR PER EXCEPTION 1: AN ACCESSIBLE ROUTE IS NOT REQUIRED TO STORIES AND MEZZANINES OF NOT MORE THAN 3,000 SF.

PLUMBING SYSTEMS, CHAPTER 29

FACTOR FOR FIXTURES PER
CLASSIFICATION OCC LOAD / GENDER WC LAV EACH GENDER
BUSINESS: 27 M 27 W @1/25 1/40 1.08 WC 0.68 LAV

KITCHEN: 3 M 3 W
INDUSTRIAL: 54M 54W
WAREHOUSE: 31M 31W
STORAGE: 2 M 2 W
TOTAL FACTORY / INDUSTRIAL
AND STORAGE: 90 M 90W

 AND STORAGE:
 90 M
 90W
 @1/100, 1/100
 0.90 WC
 0.90 LAV

 TOTAL REQUIRED TOTAL PROVIDED
 1.98 = 2 WC
 1.58 = 2 LAV
 3 WC
 3 LAV

DRINKING FOUNTAINS
BUSINESS: 54 @1/ 100 = 0.540
FACTORY / INDUSTRIAL: 176 @1/ 400 = 0.440
STORAGE : 4 @1/ 1000 = 0.004

 STORAGE
 :
 4
 @1/ 1000 =
 0.044

 TOTAL REQUIRED
 0.984 =
 1

 TOTAL PROVIDED
 2 (1 HIGH / 1 LOW)

SERVICE SINK: 1 REQUIRED 2 PROVIDED

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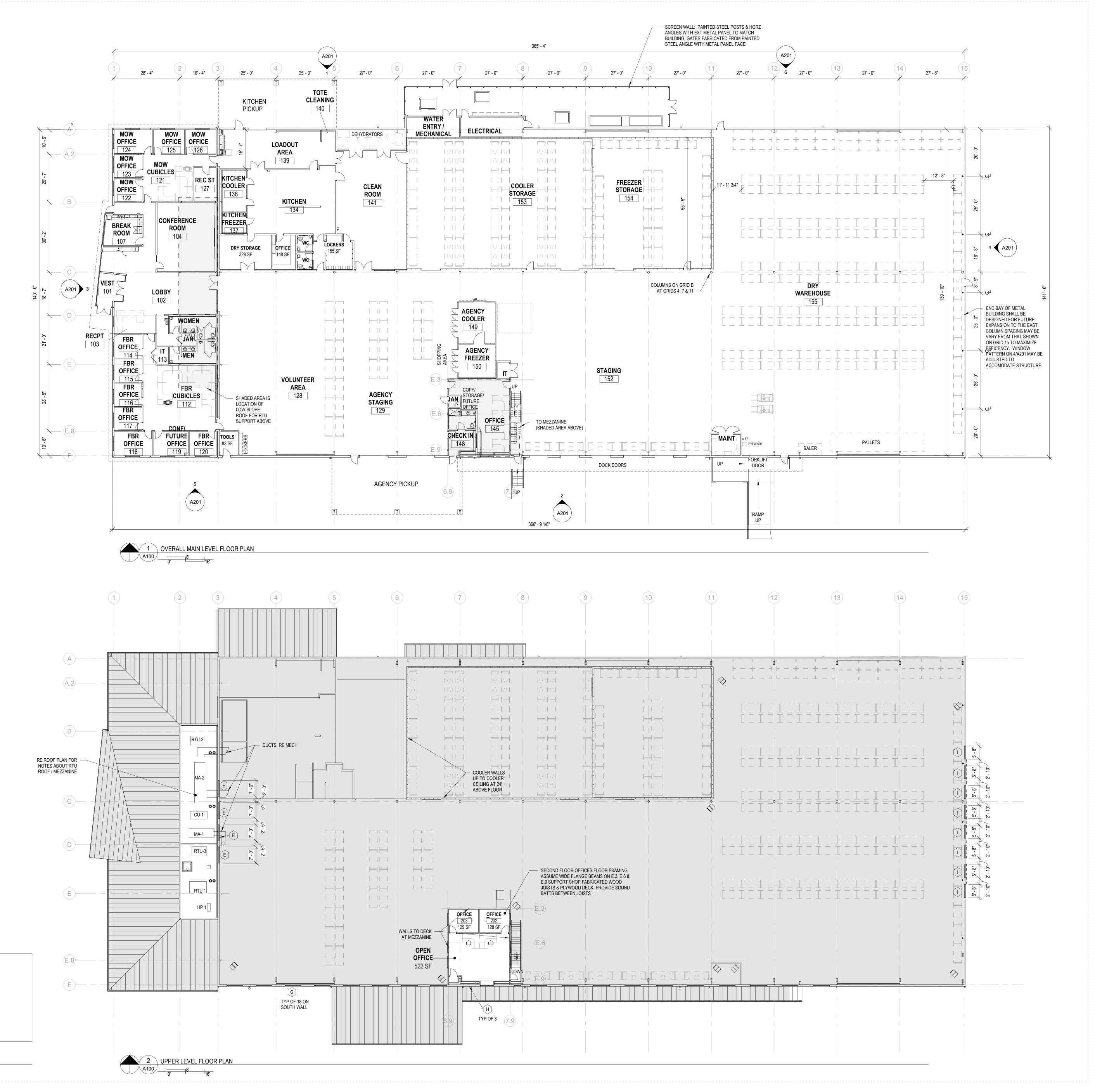
CODE CHECKLIST & LIFE SAFETY PLAN

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GENERAL NEW CONSTRUCTION NOTES

INFORMATION.

OTHER PLACES OUT OF SIGHT.

TO SLOPE TO DRAIN.

OTHERWISE.

1. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE

3. PROVIDE TREATED SOLID WOOD BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL

PROVIDE DOUBLE STUDS AT COUNTERTOP BRACKET LOCATIONS.
 CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF

6. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF

DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE

DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR

DRAWINGS FOR DIMENSIONS OF THE FLOOR AREA AROUND REQUIRED

7. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS, MINIMUM OF 1/8" PER FOOT, MAXIMUM OF 1/4" PER FOOT OR AS NOTED ON DRAWINGS. SEE

8. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND

9. DOOR JAMB LOCATION OFF FACE OF WALL IS 4", TYPICAL, UNLESS NOTED

OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.

WEST PLAN

KEY PLAN

EAST PLAN

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.

2. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME



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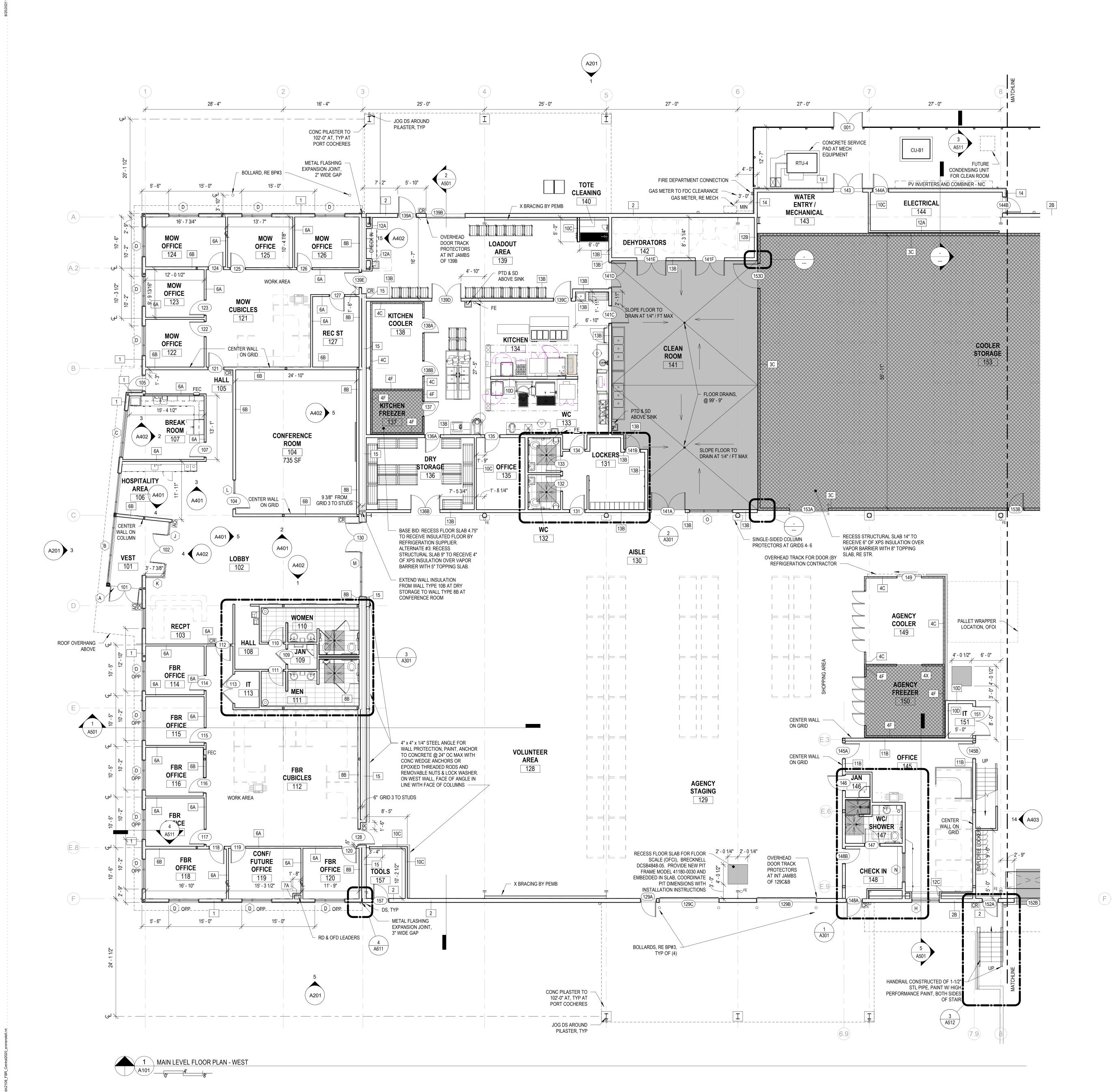
OVERALL FLOOR PLANS

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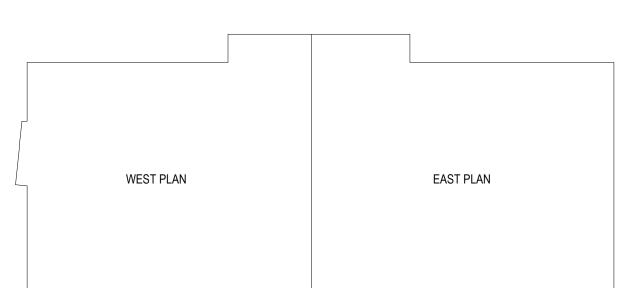
GENERAL NEW CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
 ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME
- MANNER.

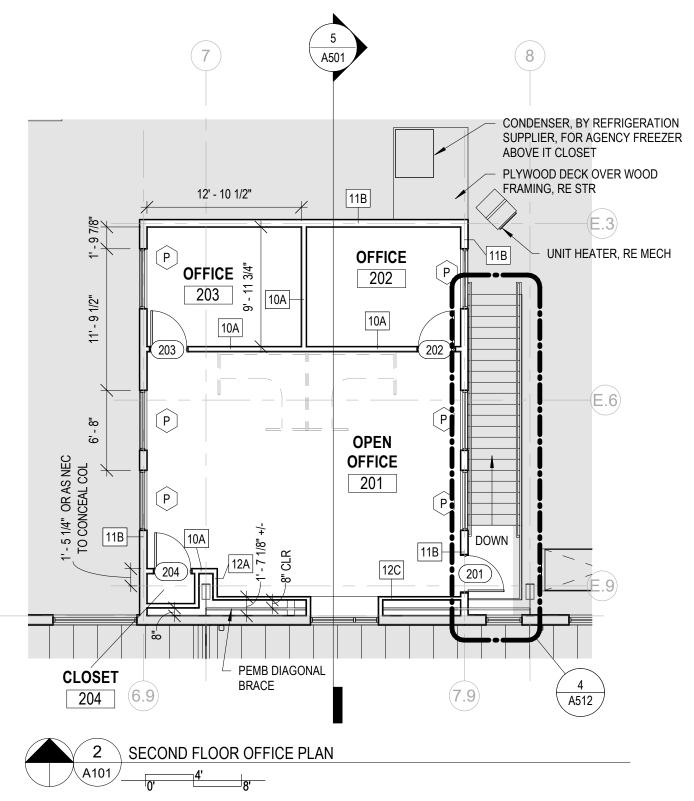
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- PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF
 DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR
 OTHER DIACES OUT OF SIGHT.
- OTHER PLACES OUT OF SIGHT.

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- DRAWINGS FOR DIMENSIONS OF THE FLOOR AREA AROUND REQUIRED TO SLOPE TO DRAIN.

 8. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING VENTS DUCTS CURRS FANS AND
- FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.
- DOOR JAMB LOCATION OFF FACE OF WALL IS 4", TYPICAL, UNLESS NOTED OTHERWISE.



KEY PLAN



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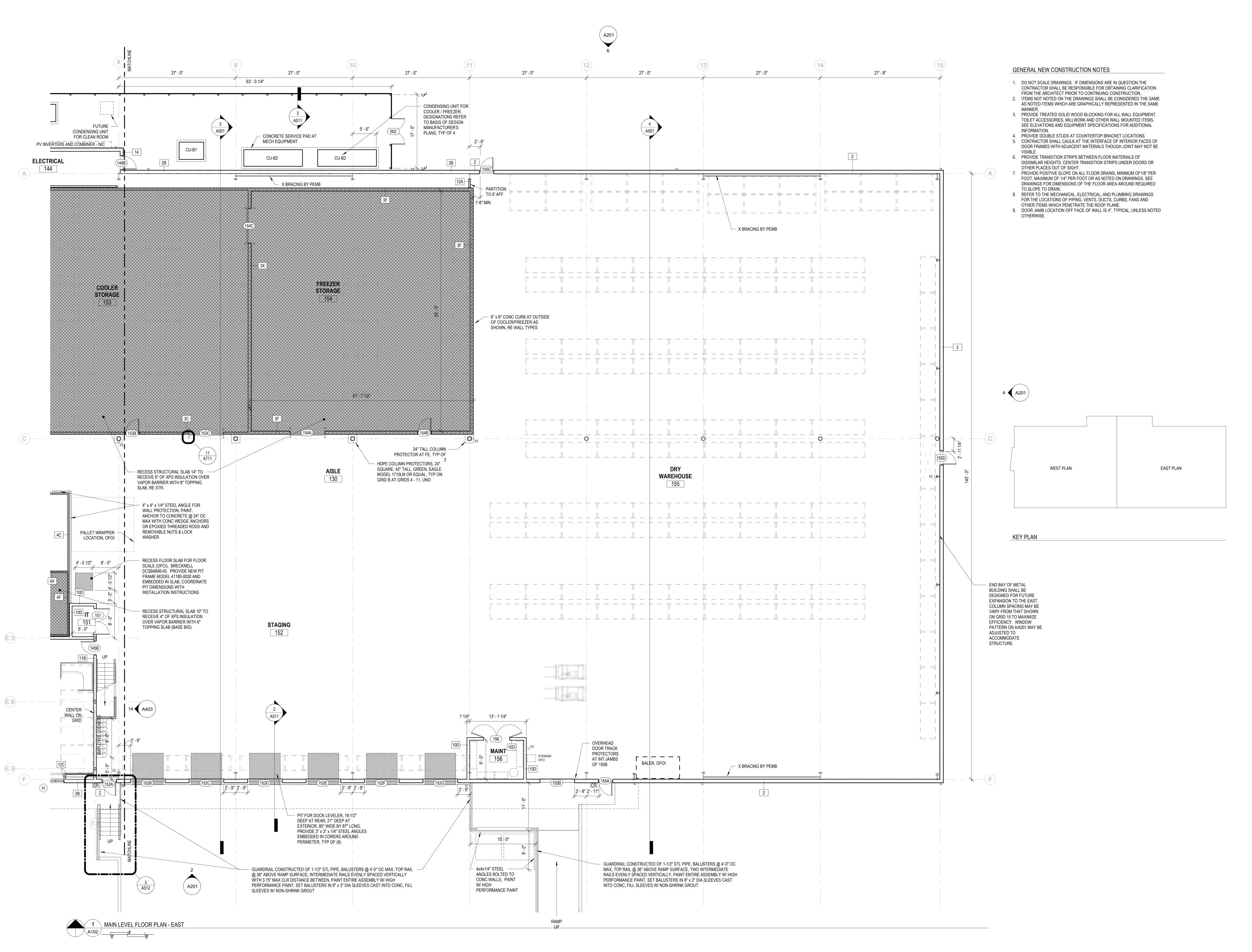
MAIN LEVEL FLOOR
PLAN - WEST &
SECOND FLOOR

OFFICE PLAN
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MAIN FLOOR PLAN -EAST

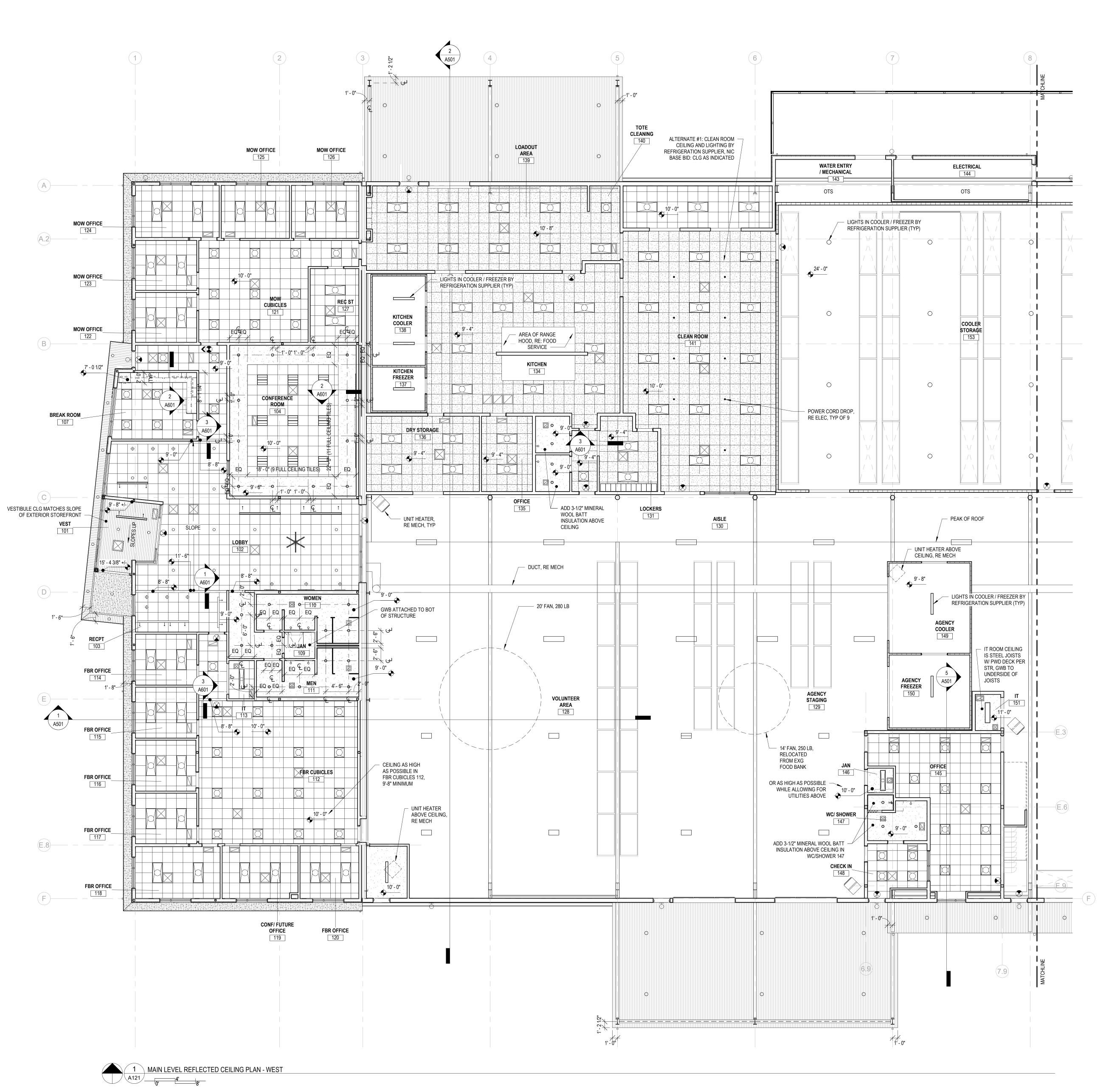
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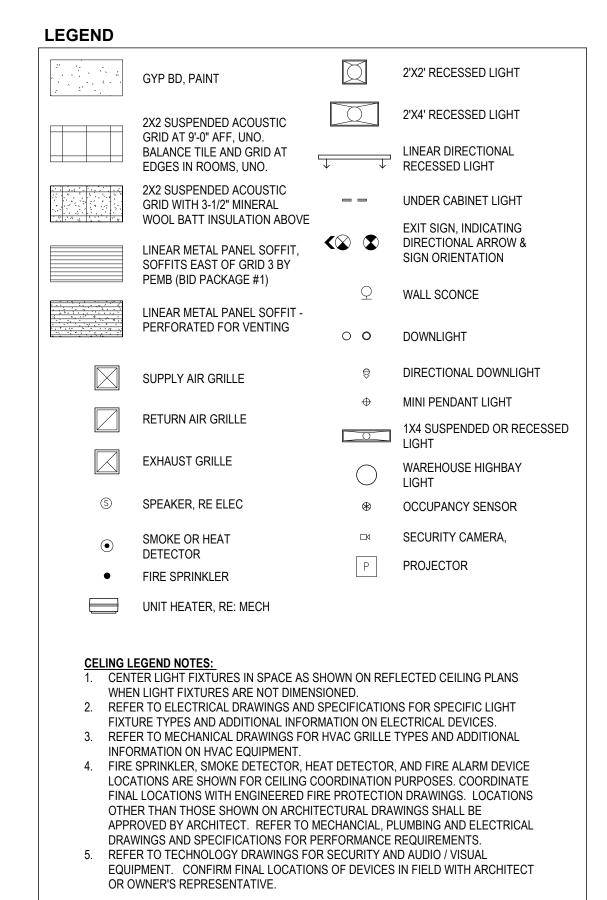
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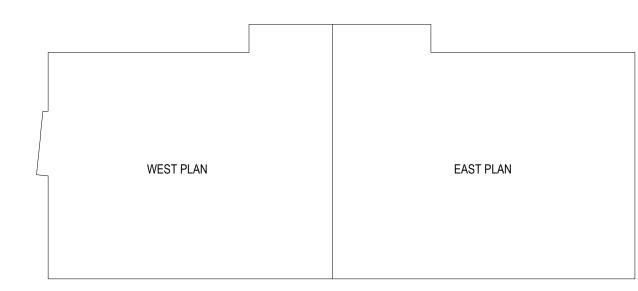
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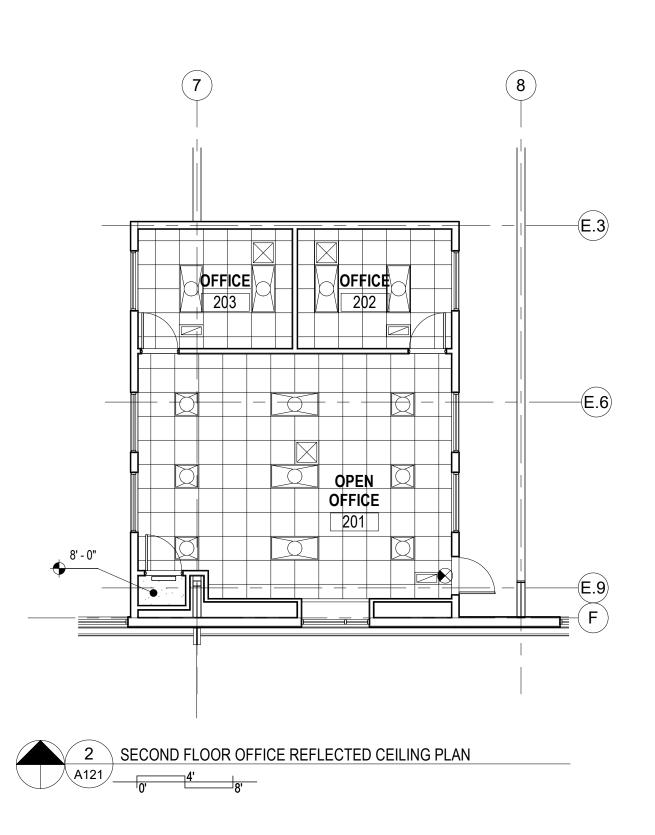
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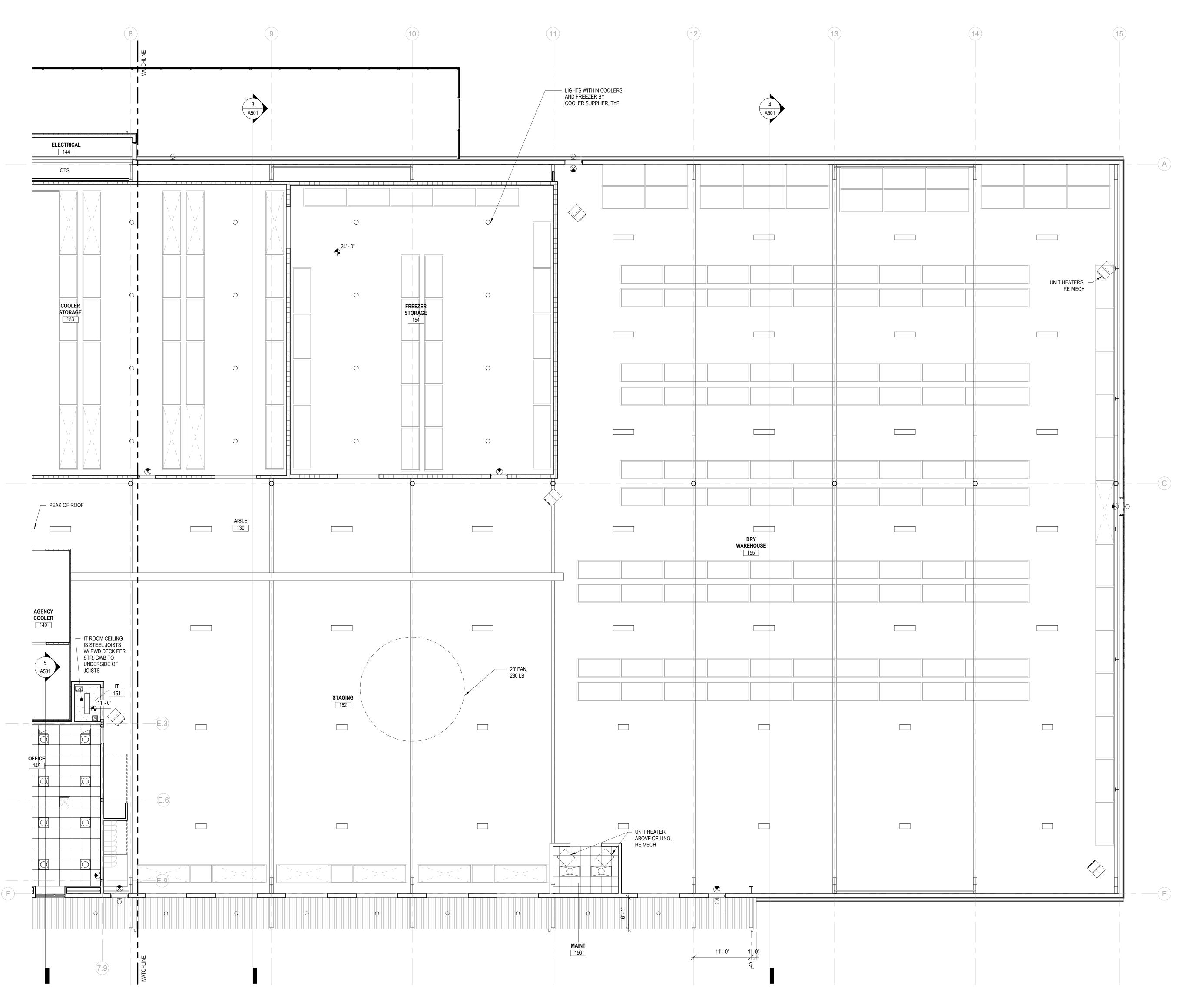
698 LONG ACRE DRIVE

MAIN LEVEL - WEST & SECOND FLOOR OFFICE REFLECTED **CEILING PLANS**

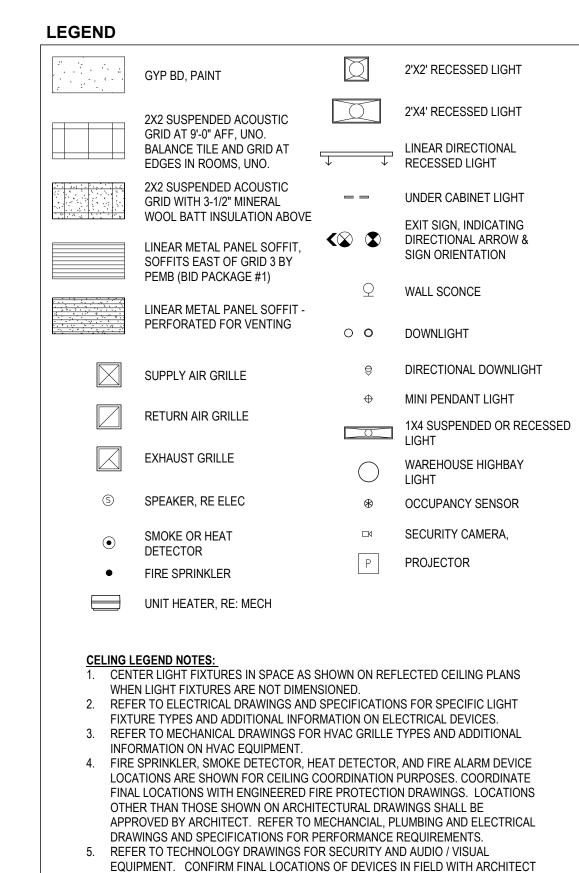
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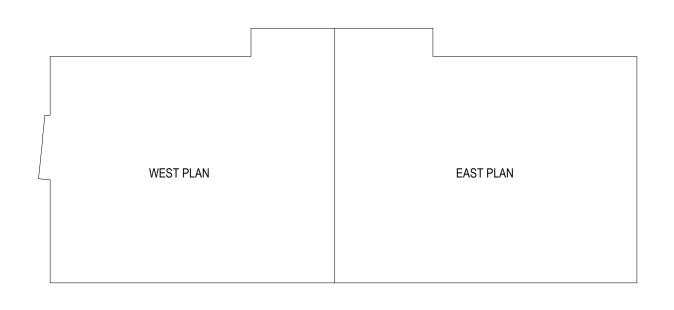
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1 MAIN LEVEL REFLECTED CEILING PLAN - EAST
A122
0' 8'



OR OWNER'S REPRESENTATIVE.



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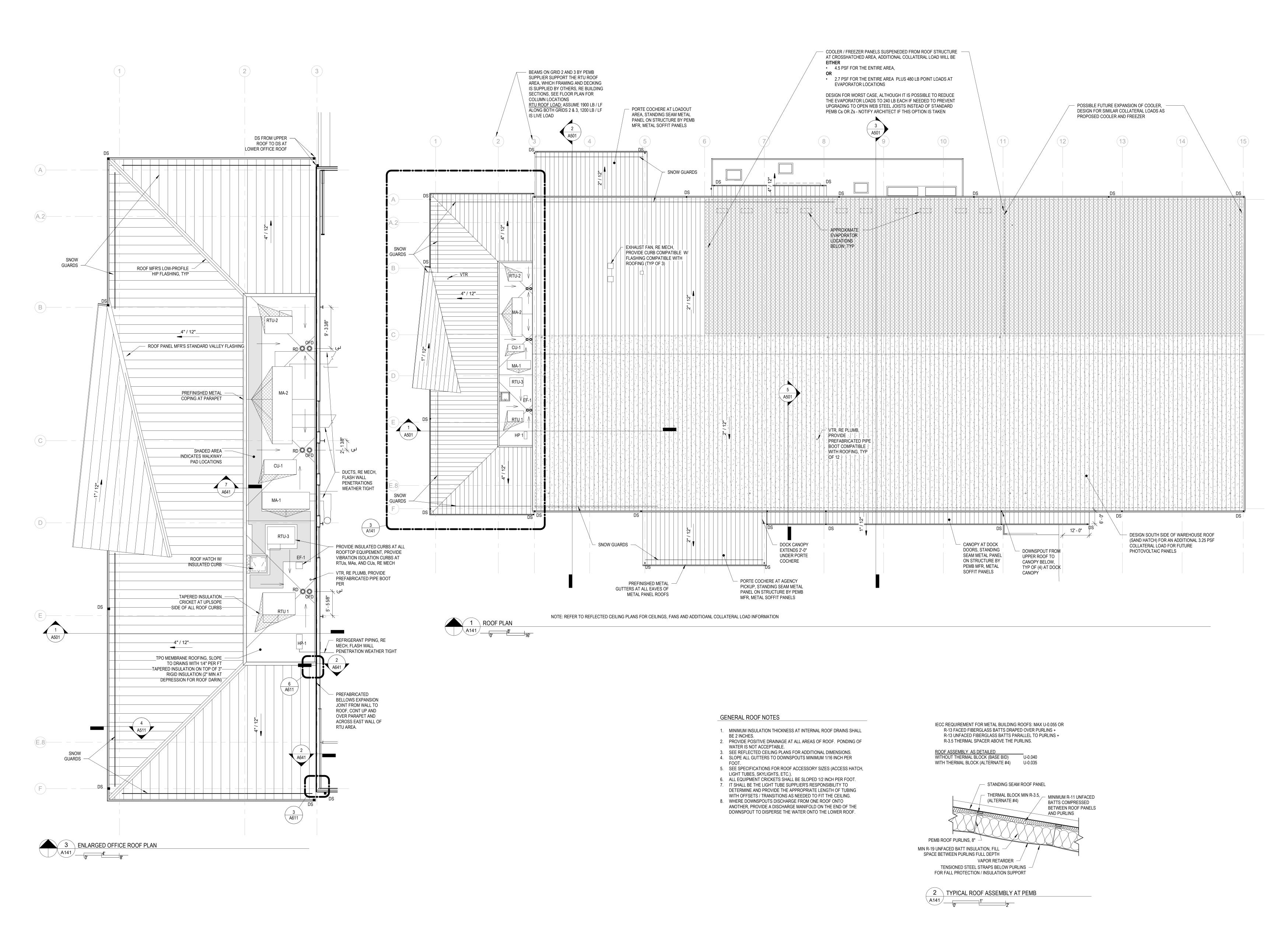
MAIN LEVEL REFLECTED CEILING PLAN - EAST

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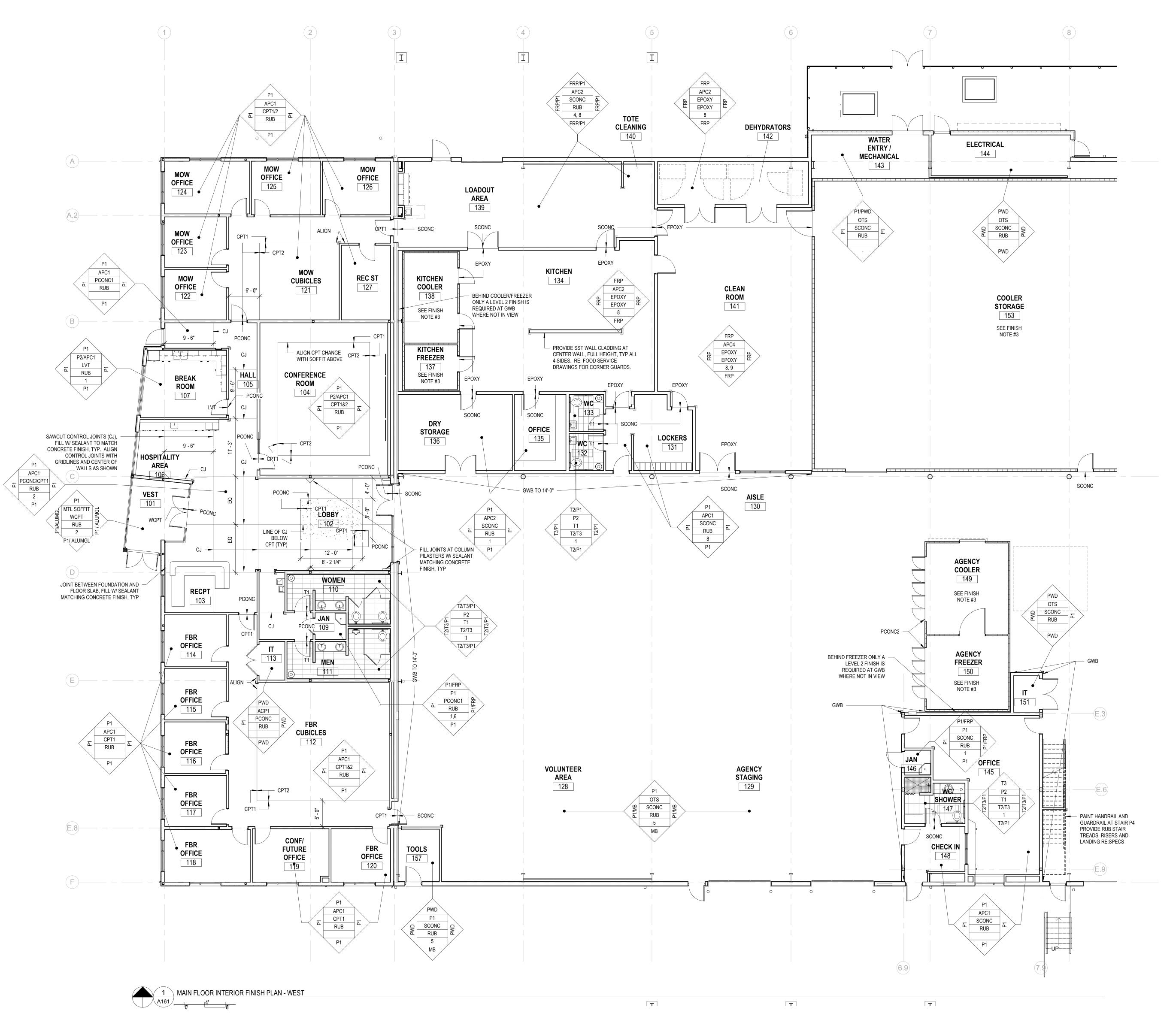
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ROOF PLAN

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INTERIOR FINISH LEGEND

- WALL FINISH (NORTH, SOUTH, EAST, WEST) CEILING FINISH - FLOOR FINISH BASE FINISH

COLORS, RE: INTERIOR COLOR SCHEDULE (A741) PATTERN AT WALLS, RE: INTERIOR ELEVATIONS

(A401-A403)

FLOOR FINISH TRANSITIONS (TBD)

P# - GYPSUM WALLBOARD W/ PAINT

DIVISION TRIM

ABOVE. PWD - P1 PAINTED 3/4 INCH FIRE RETARDANT TREATED

T# - TILE

CEILING FINISH

ALUM/GL - ALUMINUM AND GLASS STOREFRONT

APC2 - SUSPENDED PANEL CEILING GRID AND TILE FOR

CLEANROOM

MTL SOFFIT - EXTERIOR METAL SOFFIT SYSTEM CONTINUES INTO THE VESTIBULE.

FINISH NOTES

PATTERN AT CEILINGS, RE: REFLECTED CEILING PLAN (A121 & A122)

WALL FINISHES

FRP - FIBERGLASS REINFORCED PANEL (WATER PROOF SYSTEM BEHIND MOP SINK AND AT CLEAN ROOM / WATER RESISTANT SYSTEM AT KITCHEN) FRP TO CEILING UNO. RE: DETAILS 6 / A601 AND 7 / A601 FOR SEALANT REQUIREMENTS AT

METAL BUILDING SYSTEM ABOVE, VAPOR BARRIER OVER INSULATION.

P# / MB - GWB TO 8' OR 14' HIGH PER WALL TYPE;

FRP / P# - FRP OVER GWB TO 8', UNO PAINTED GWB

PLYWOOD, INSTEAD OF GWB FOR MOUNTING OF **EQUIPMENT**

MB - METAL BUILDING SYSTEM, VAPOR BARRIER OVER INSULATION. ADD METAL LINER PANELS TO 8' HIGH.

APC1 - 2X2 SUSPENDED ACOUSTICAL PANEL CEILING GRID AND TILE IN OFFICE AREA

APC4 - SUSPENDED PANEL CEILING GRID AND TILE FOR

P# - GYPSUM WALLBOARD WITH PAINT OTS - OPEN TO STRUCTURE ABOVE, NO PAINT FLOOR FINISHES

PCONC - POLISHED CONCRETE, OPTION FOR STAINING OR DEEPER GRIND IN LOBBY AREA ONLY, ALL ELSE POLISHED WITH NO STAINING. SCONC - SEALED CONCRETE

WCPT - WALK OFF CARPET TILE CPT# - CARPET TILE

T# - FLOOR TILE EPOXY - EPOXY FLOORING RE: SPECIFICATIONS FOR MOVEMENT JOINT DETAIL RE: 5 / A601

BASE FINISHES **RUB - RUBBER BASE**

EPOXY - 6 INCH INTEGRAL EPOXY BASE, RE: SPECIFICATIONS AND DETAIL 4 / A601

■ CORNER GUARD, RE: SPECS.

■ CORNER GUARDS IN FOOD SERVICE AREAS RE: FOOD SERVICE DRAWINGS

FINISH NOTES

T# - TILE BASE

1. PROVIDE EPOXY PAINT FINISH AT GWB IN WET AREAS, RESTROOMS, JANITOR CLOSETS AND

BREAK ROOM WALL BEHIND CASEWORK. 2. GRAPHICS DESIGNED AND INSTALLED BY OWNER IN THE LOBBY AND VOLUNTEER WAREHOUSE AREA. ALL GWB WALLS AND SOFFITS TO BE LEVEL 5 FINISH (SMOOTH) FOR APPLICATION OF GRAPHICS. 3. FINISHES PER COOLER AND FREEZER

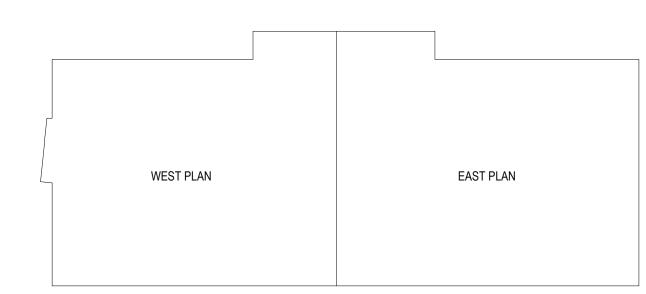
MANUFACTURER FLOOR TO BE SCONC 4. PROVIDE FRP TO 8 FEET OVER GWB WITH EPOXY PAINTED GWB ABOVE, PROVIDE FULL HEIGHT WATER TIGHT FRP SYSTEM OVER GWB AT TOTE CLEANING AREA. SEE FOOD SERVICE DRAWINGS FOR CORNER GUARDS AND LOCATIONS.

5. INSTALL PLYWOOD TO THE CEILING FOR MOUNTING OF STORAGE SHELVING AND TOOLS 6. PROVIDE FRP TO 5' BEHIND MOP SINK. PROVIDE TOP, SIDE AND INSIDE CORNER

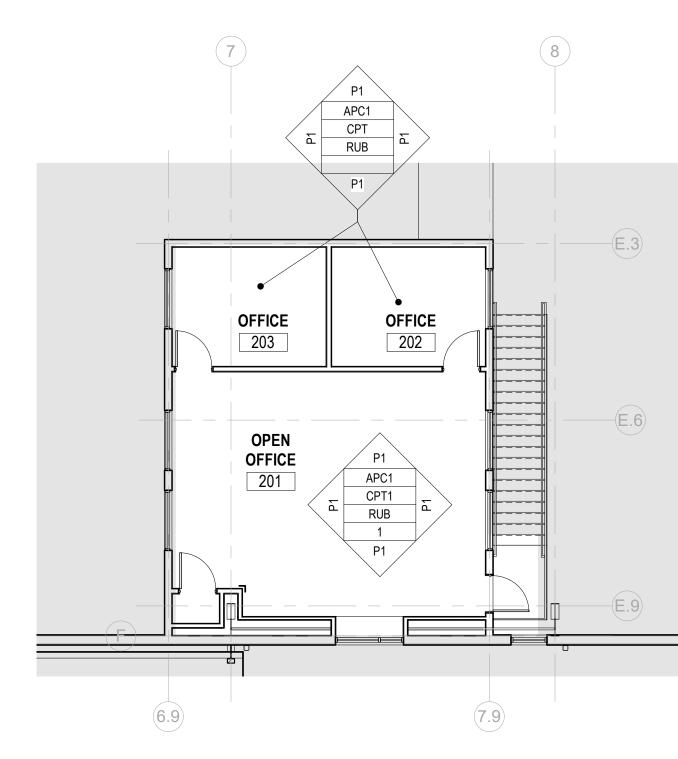
TRIM PIECES FOR A WATER TIGHT INSTALLATION. PAINT BOTH SIDES OF GWB WALLS, INSIDE MAINT 171 AND OUTSIDE MAINT 171

8. PROVIDE FRP TO FULL HEIGHT OF WALLS IN KITCHEN. RE: FOOD SERVICE DRAWINGS FOR CORNER GUARDS AND CORNER GUARD LOCATIONS.

9. PROVIDE EPOXY FLOORING WITH INTEGRAL COVE BASE TO 6", FRP OVER WATERPROOF CEMENT BOARD FOR WALLS AND WATERPROOF CEILING SYSTEM AS SPECIFIED.



KEY PLAN



2 SECOND FLOOR OFFICE INTERIOR FINISH PLAN

A161

0'

8'

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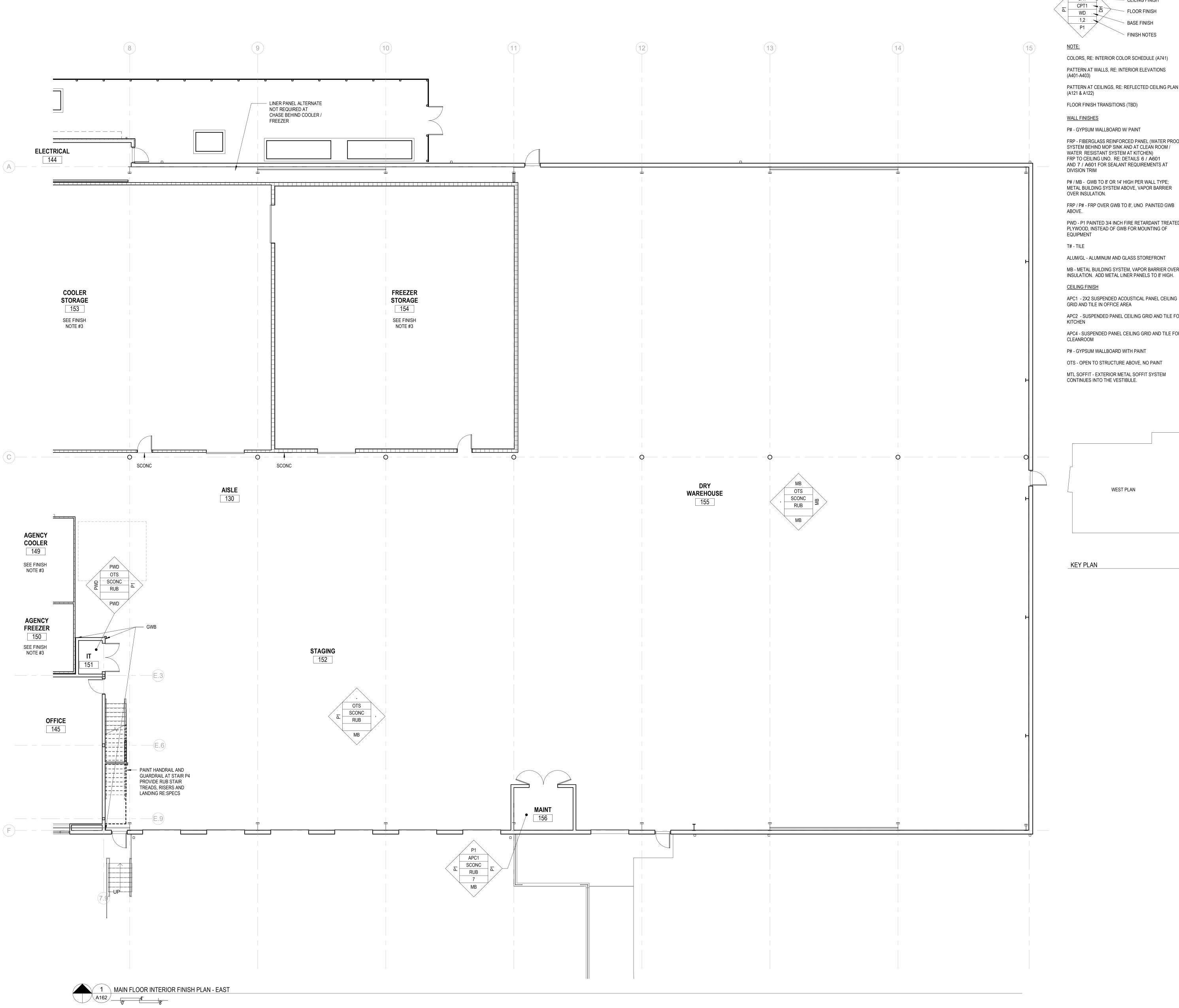
INTERIOR FINISH PLAN - MAIN LEVEL WEST & SECOND

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A161



INTERIOR FINISH LEGEND

 WALL FINISH (NORTH, SOUTH, EAST, WEST) CEILING FINISH FLOOR FINISH BASE FINISH FINISH NOTES

> COLORS, RE: INTERIOR COLOR SCHEDULE (A741) PATTERN AT WALLS, RE: INTERIOR ELEVATIONS

PATTERN AT CEILINGS, RE: REFLECTED CEILING PLAN (A121 & A122)

WALL FINISHES

P# - GYPSUM WALLBOARD W/ PAINT

FRP - FIBERGLASS REINFORCED PANEL (WATER PROOF SYSTEM BEHIND MOP SINK AND AT CLEAN ROOM / WATER RESISTANT SYSTEM AT KITCHEN) FRP TO CEILING UNO. RE: DETAILS 6 / A601 AND 7 / A601 FOR SEALANT REQUIREMENTS AT DIVISION TRIM

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PWD - P1 PAINTED 3/4 INCH FIRE RETARDANT TREATED

ALUM/GL - ALUMINUM AND GLASS STOREFRONT MB - METAL BUILDING SYSTEM, VAPOR BARRIER OVER

CEILING FINISH APC1 - 2X2 SUSPENDED ACOUSTICAL PANEL CEILING

GRID AND TILE IN OFFICE AREA APC2 - SUSPENDED PANEL CEILING GRID AND TILE FOR

APC4 - SUSPENDED PANEL CEILING GRID AND TILE FOR CLEANROOM P# - GYPSUM WALLBOARD WITH PAINT

OTS - OPEN TO STRUCTURE ABOVE, NO PAINT

MTL SOFFIT - EXTERIOR METAL SOFFIT SYSTEM CONTINUES INTO THE VESTIBULE.

FLOOR FINISHES

PCONC - POLISHED CONCRETE, OPTION FOR STAINING OR DEEPER GRIND IN LOBBY AREA ONLY, ALL ELSE POLISHED WITH NO STAINING.

SCONC - SEALED CONCRETE WCPT - WALK OFF CARPET TILE

CPT# - CARPET TILE

T# - FLOOR TILE EPOXY - EPOXY FLOORING RE: SPECIFICATIONS FOR MOVEMENT JOINT DETAIL RE: 5 / A601

BASE FINISHES **RUB - RUBBER BASE**

EPOXY - 6 INCH INTEGRAL EPOXY BASE, RE: SPECIFICATIONS AND DETAIL 4 / A601

T# - TILE BASE

□ CORNER GUARDS IN FOOD SERVICE AREAS RE: FOOD SERVICE DRAWINGS

FINISH NOTES

¬ CORNER GUARD, RE: SPECS.

1. PROVIDE EPOXY PAINT FINISH AT GWB IN WET AREAS, RESTROOMS, JANITOR CLOSETS AND BREAK ROOM WALL BEHIND CASEWORK.

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MANUFACTURER FLOOR TO BE SCONC 4. PROVIDE FRP TO 8 FEET OVER GWB WITH

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MAINT 171 AND OUTSIDE MAINT 171 8. PROVIDE FRP TO FULL HEIGHT OF WALLS IN KITCHEN. RE: FOOD SERVICE DRAWINGS FOR

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CEILING SYSTEM AS SPECIFIED.

WEST PLAN EAST PLAN

KEY PLAN

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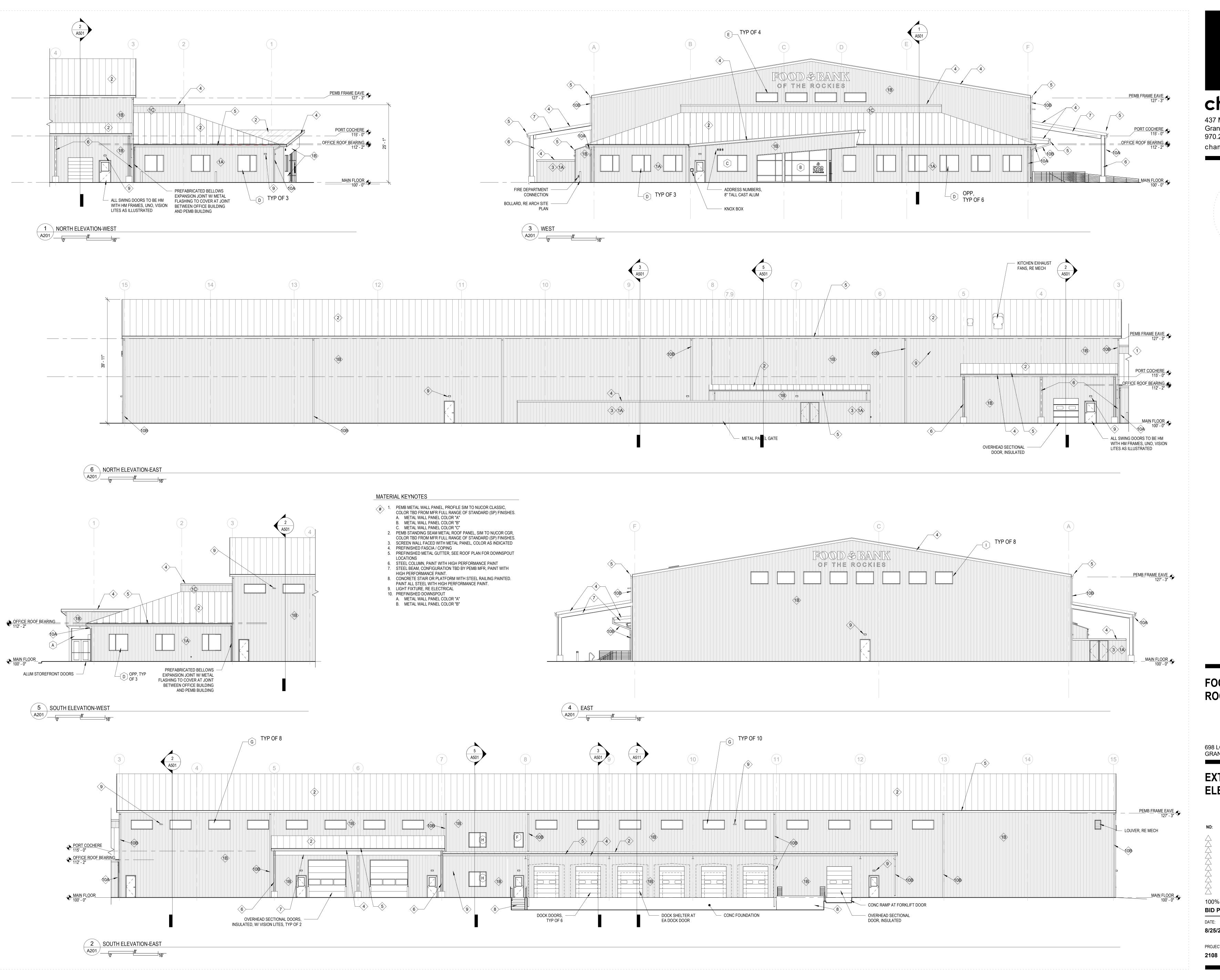
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INTERIOR FINISH PLAN - MAIN LEVEL EAST

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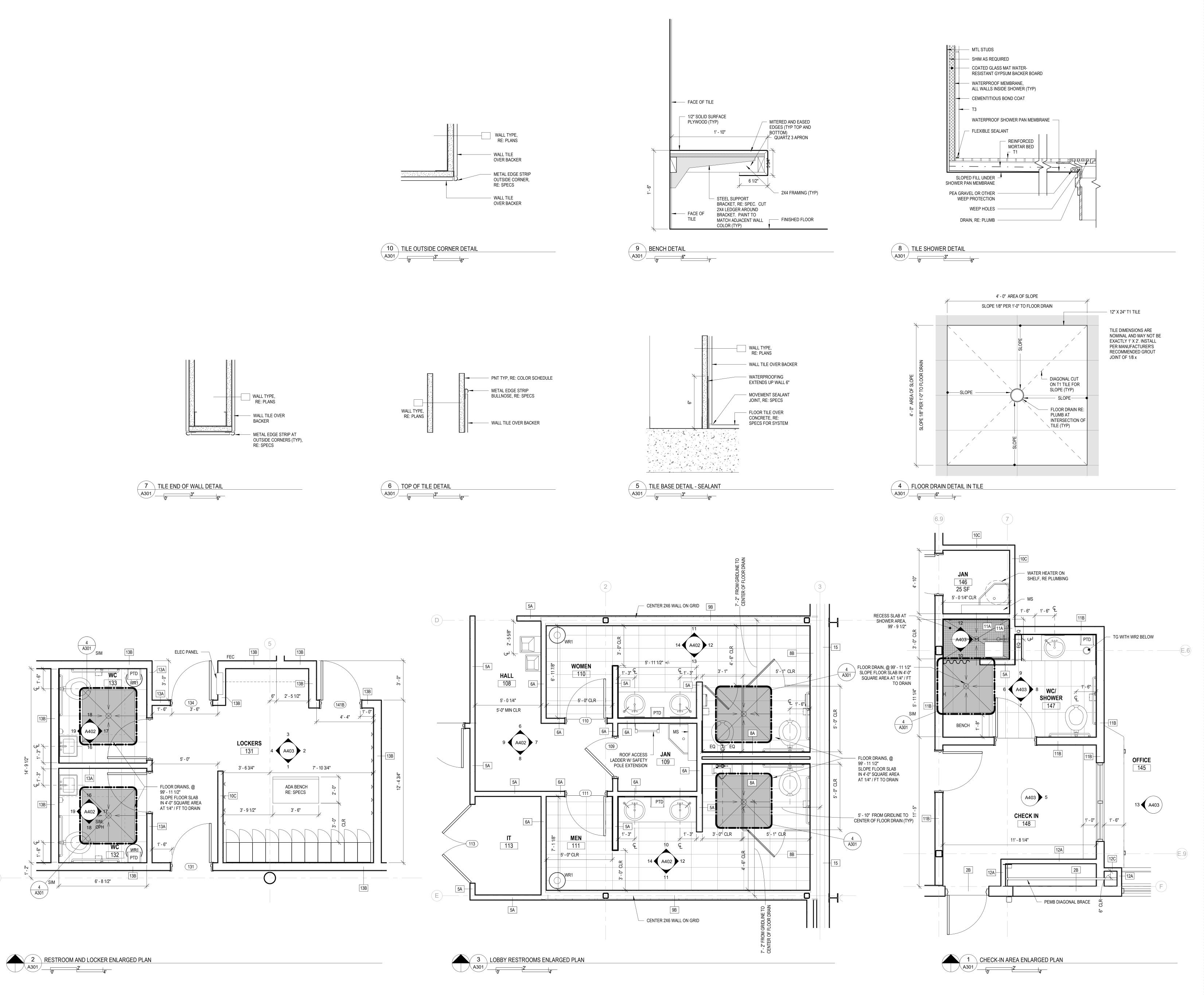
GRAND JUNCTION, COLORADO

EXTERIOR ELEVATIONS

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A201







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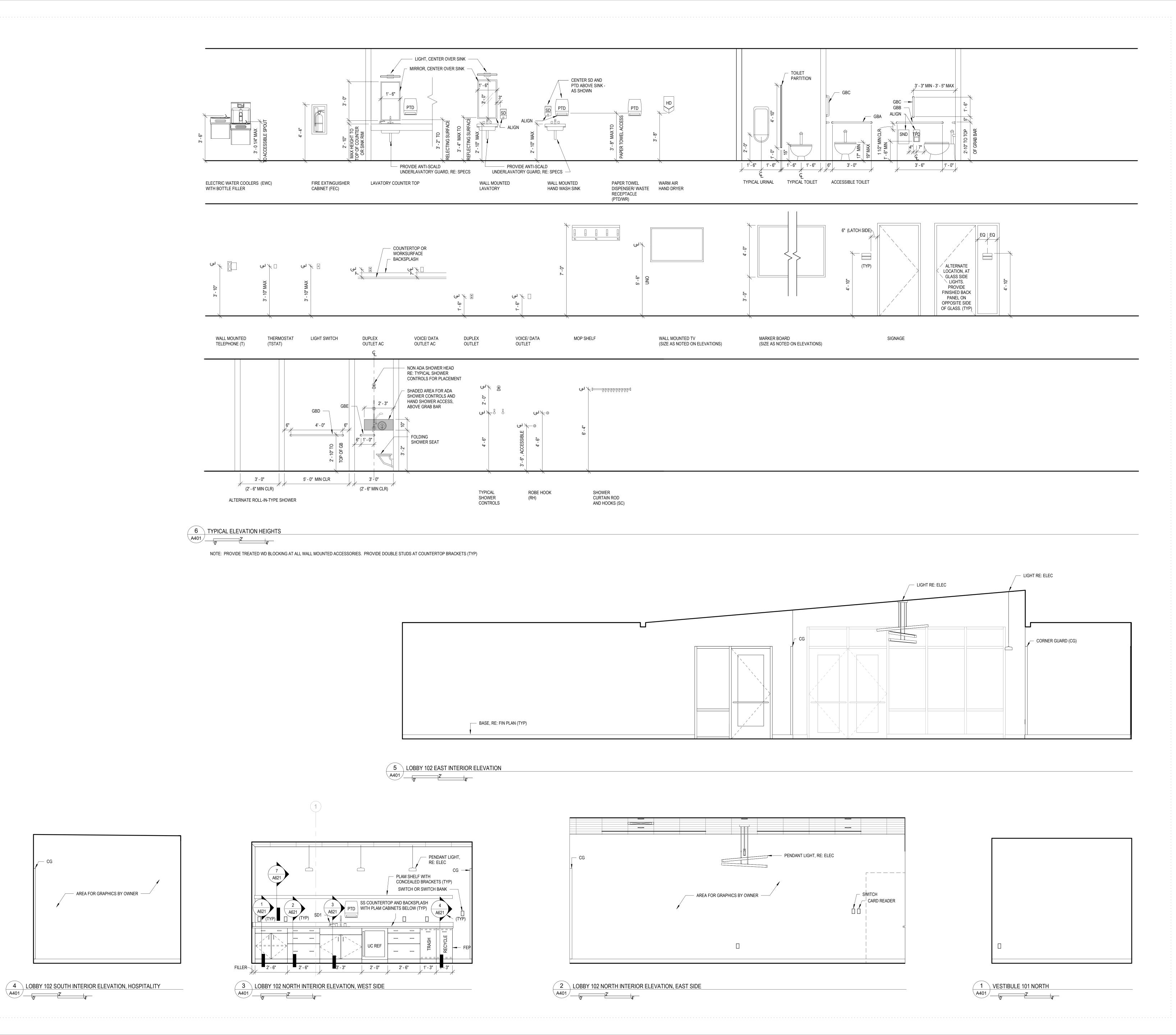
ENLARGED FLOOR PLAN

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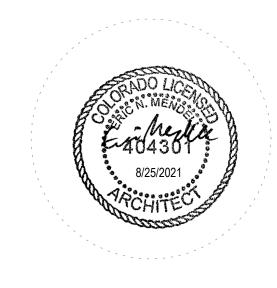
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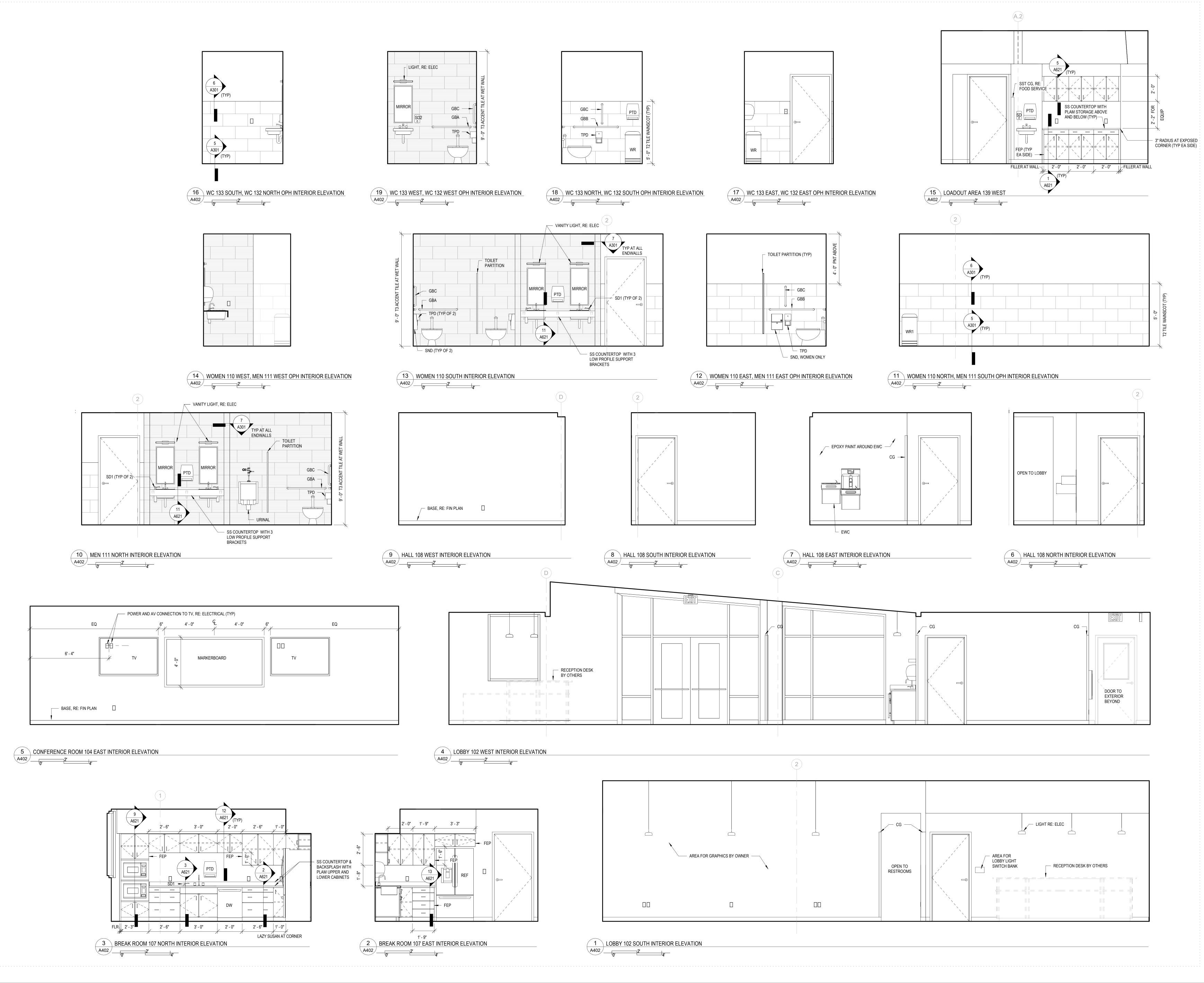
698 LONG ACRE DRIVE GRAND JUNCTION, COLORADO

INTERIOR ELEVATIONS

NO: ISSUED FOR: DATE:

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8/25/2021 SHEET NO:





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698 LONG ACRE DRIVE GRAND JUNCTION, COLORADO

INTERIOR ELEVATIONS

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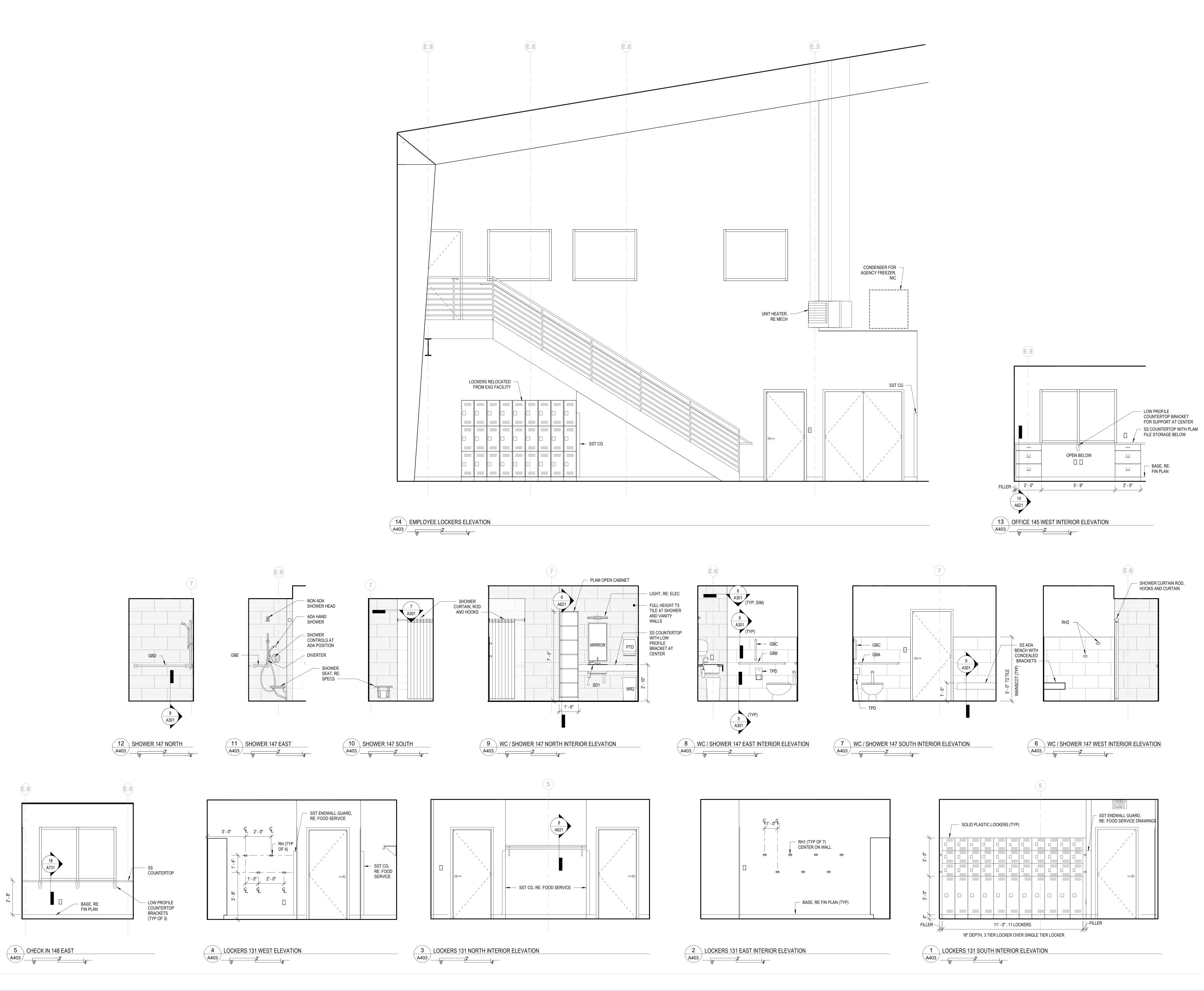
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DATE:

8/25/2021PROJECT NO:

A402







FOOD BANK OF THE ROCKIES

698 LONG ACRE DRIVE GRAND JUNCTION, COLORADO

INTERIOR ELEVATIONS

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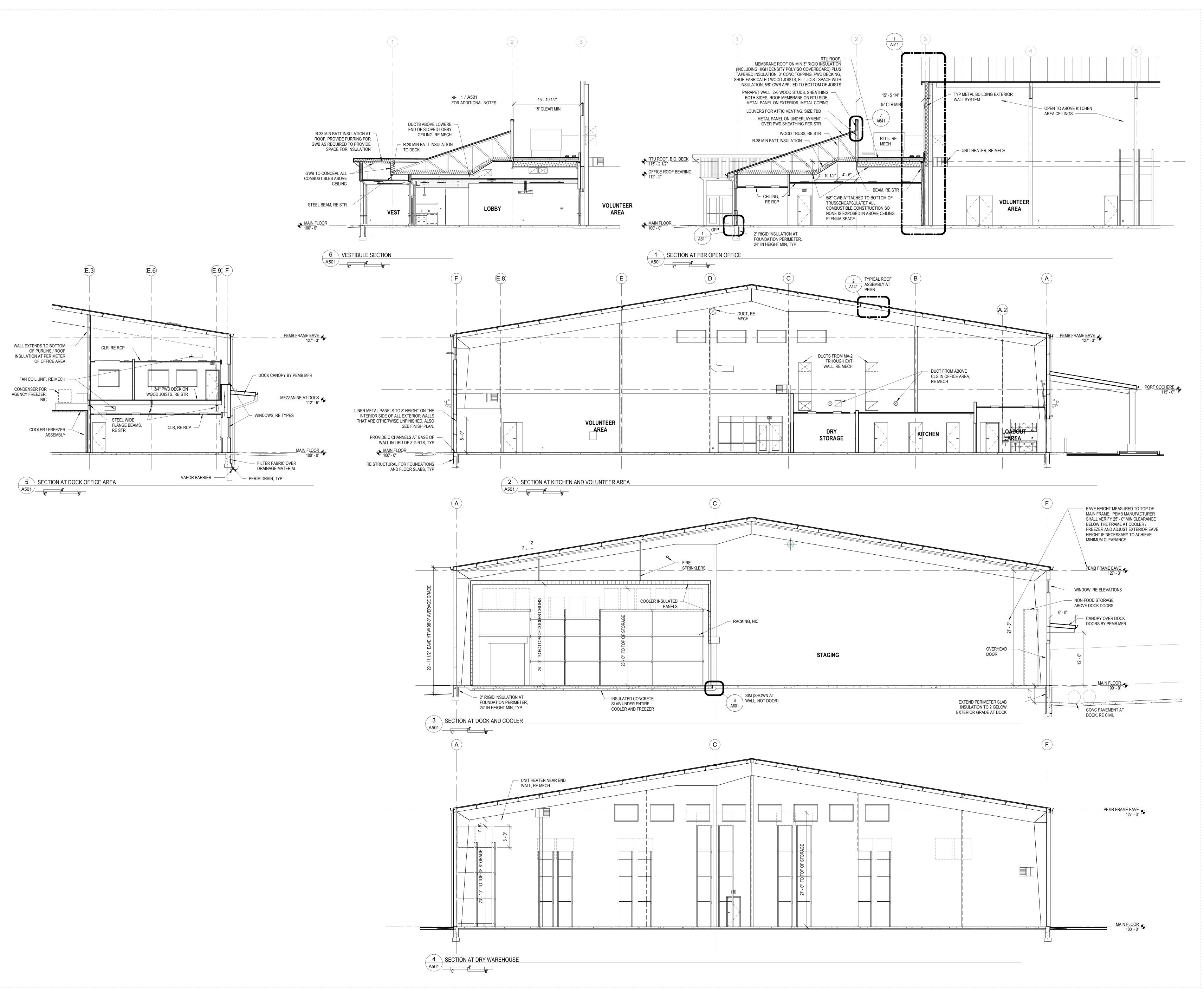
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PROJECT NO:

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698 LONG ACRE DRIVE GRAND JUNCTION, COLORADO

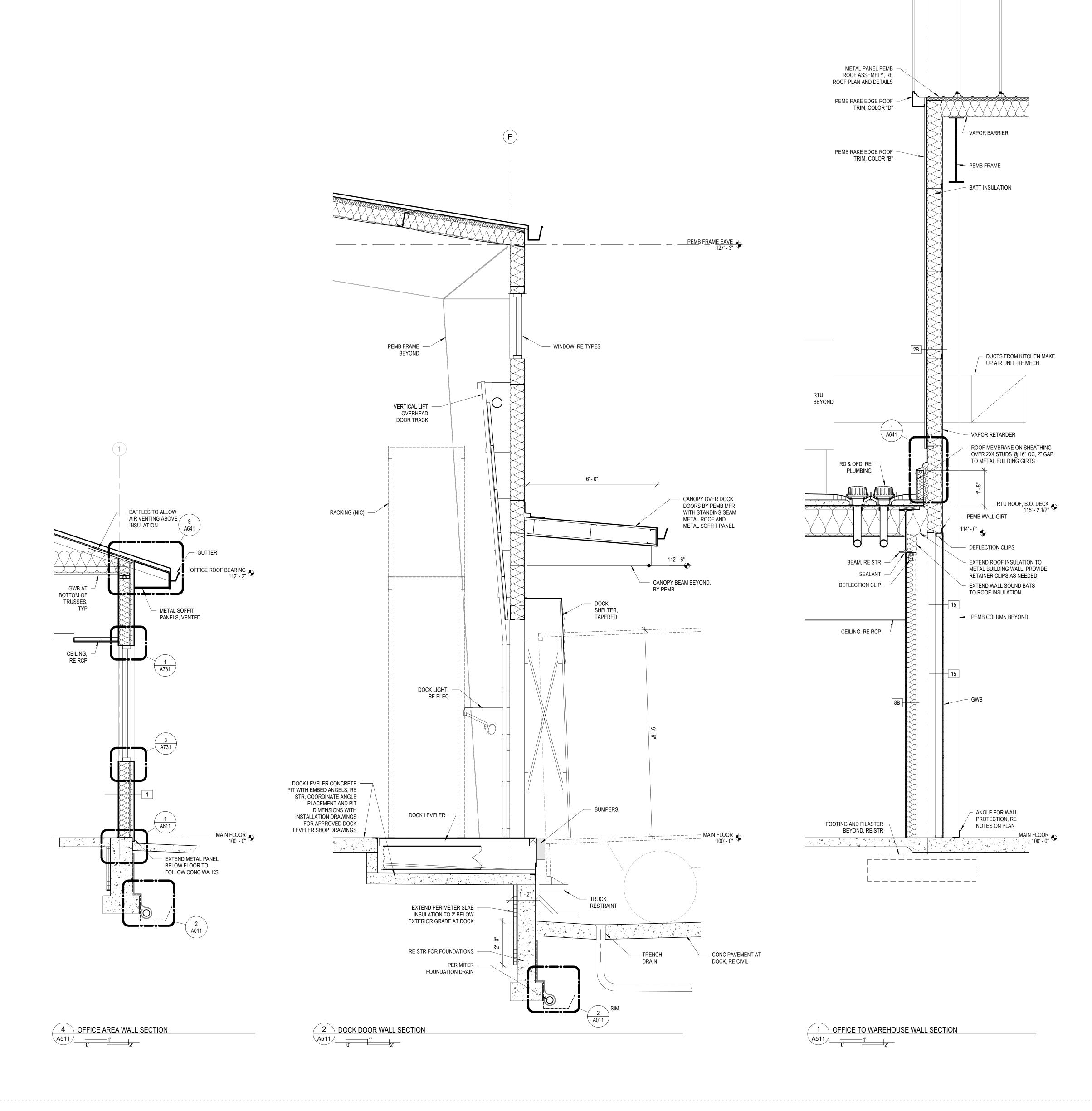
BUILDING SECTIONS

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DATE: 8/25/2021 SHEET NO:

ROJECT NO: **A501**



- WOOD CANT STRIP,
COVERED W/ SELF ADHERED
FLEXIBLE FLASHING, OR
CONTRACTOR'S OPTION TO
SUPPORT COPING W/ CONT

— 4" x 4" x 1/4" ANGLE WELDED TO COLUMNS

GENERAL NOTES FOR UTILITY ENCLOSURE:

1. PROVIDE COLUMNS AT ALL CORNERS
AND ENDS OF UTILITY ENCLOSURE AND
BOTH SIDES OF GATE OPENINGS.

SPACE INTERIOR COLUMNS AT 6' OC

2. PAINT ALL STEEL COMPONENTS W/ HIGH PERFORMANCE PAINT (EXCEPT

PREFINISHED PRODUCTS SUCH AS METAL PANEL). PREP STEEL AND

PROVIDE COMPATIBLE PRIMER PER HIGH PERFORMANCE PAINT

B. ALL METAL PANEL TRIM AND FLASHINGS

PROVIDE METAL CORNER FLASHING W/ 4" LONG LEGS AND HEMMED EDGES RIVETED TO METAL PANELS.

SHALL MATCH FINISH OF PANELS.

4. AT CORNERS OF METAL PANELS,

5. AT ENDS OF METAL PANELS, PROVIDE

4"x4"x 1/4" HSS COLUMN, RE PLAN

/-- 4" x 4" x 1/4" ANGLE WELDED

- SLOPE CONC AWAY FROM

CONC WALK, RE: CIVIL

- 5" x 5" x 5/16" HSS

 18" DIAMETER CONC FILLED HOLE OR SONOTUBE

COMPACTEDSUB-GRADE

FOOTINGS
INCLUDED IN BP#3

COLUMN, ALL SIDES

SPECIFICATIONS

"J" CLOSURE TRIM

TO COLUMNS

GALV BREAK METAL

PREFINISHED COPING W/ -

ELEVATION 106' 10"

METAL WALL PANEL, — COLOR "A" FASTENED TO

4" x 4" x 1/4" ANGLE -

WELDED TO COLUMNS

4"x4"x 1/4" HSS -

COLUMN, RE PLAN

"J" TRIM, BUTTED — TOGETHER W/ 1/4"

GAPS FOR WEEPS

3 UTILITY ENCLOSURE SECTION
A511 0' 6" 1'

ANGLES

DRIP EDGE EA SIDE

Z FLASHING



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WALL SECTIONS

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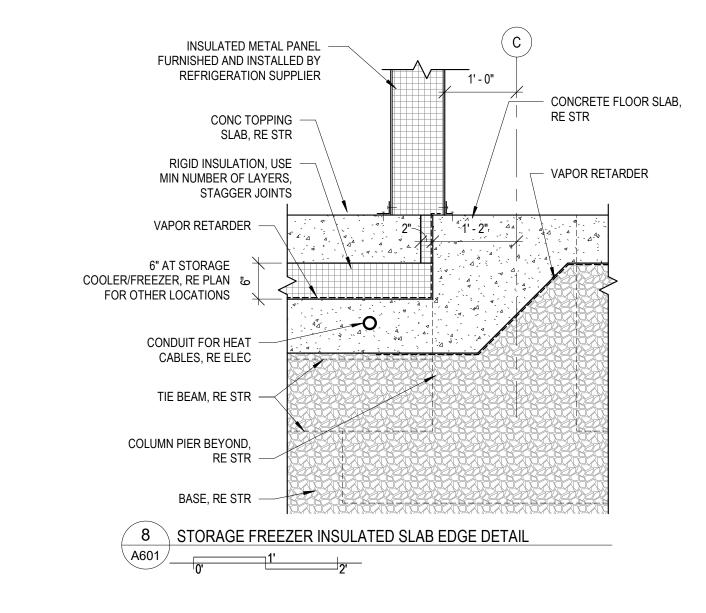
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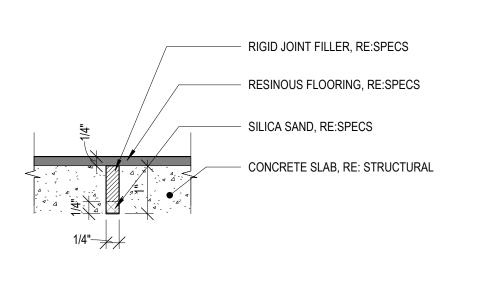


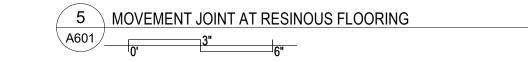
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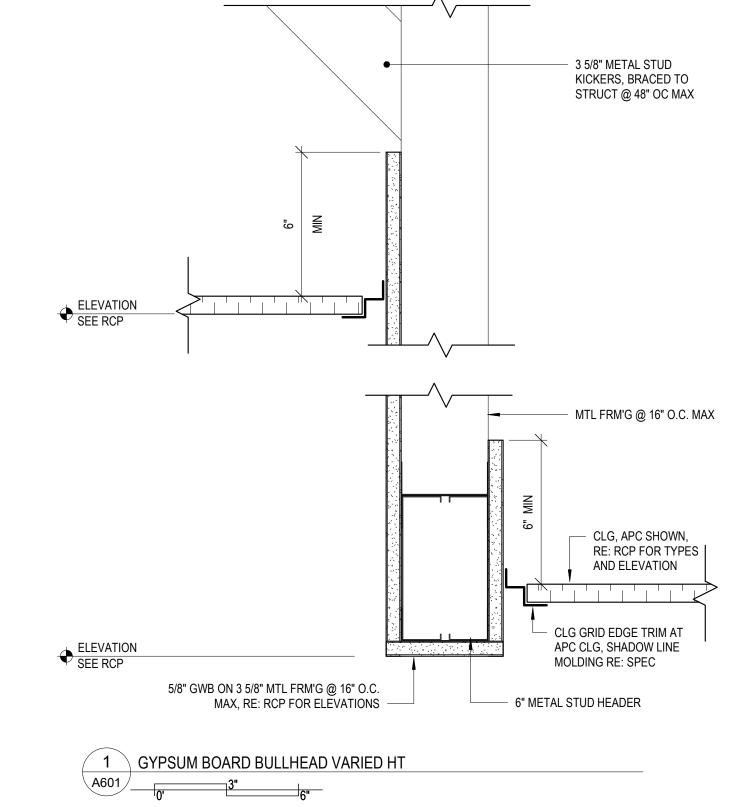
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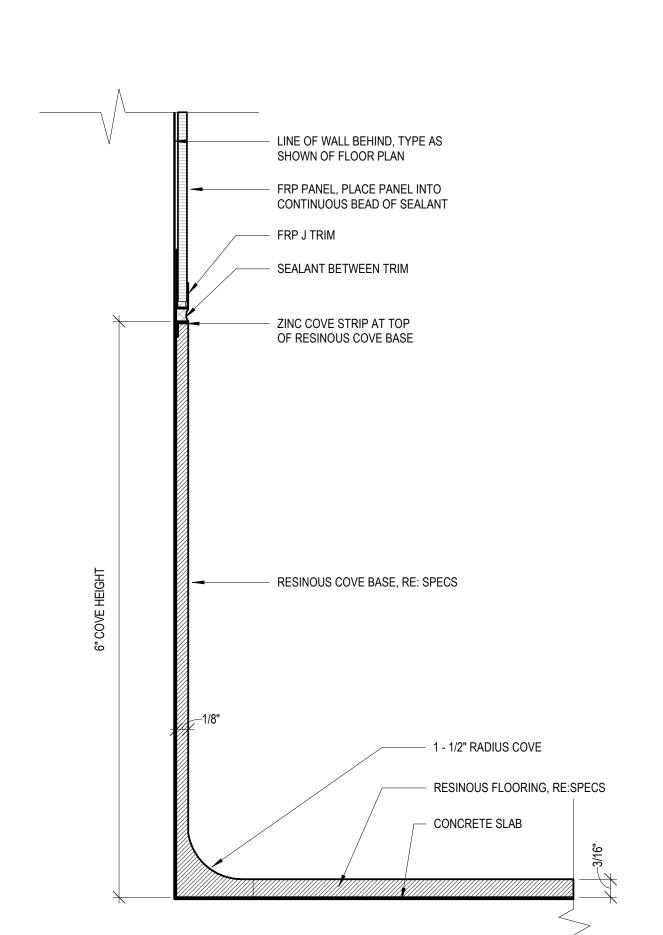










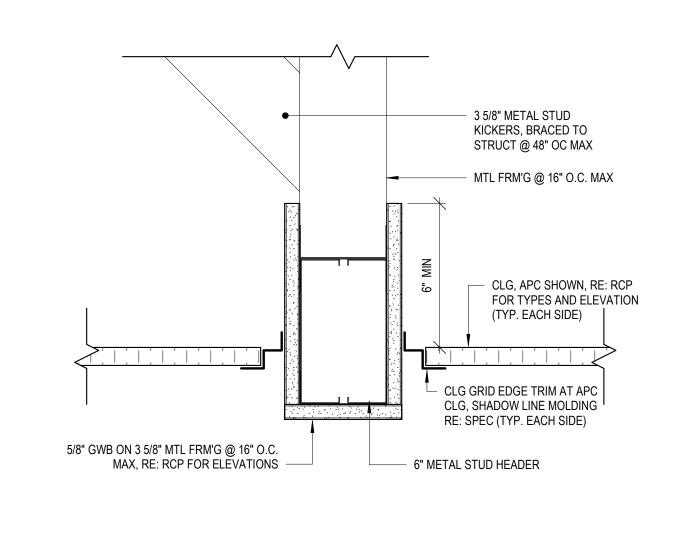


4 RESINOUS FLOORING INTEGRAL COVE BASE

A601

0'

6"



7 FRP INSIDE CORNER TRIM DETAIL
A601 1" 2"

3 GYPSUM BOARD BULKHEAD (TYP)

A601 6"

FRP PANEL (TYP EA SIDE)

- CONTINUOUS SPREAD OF ADHESIVE

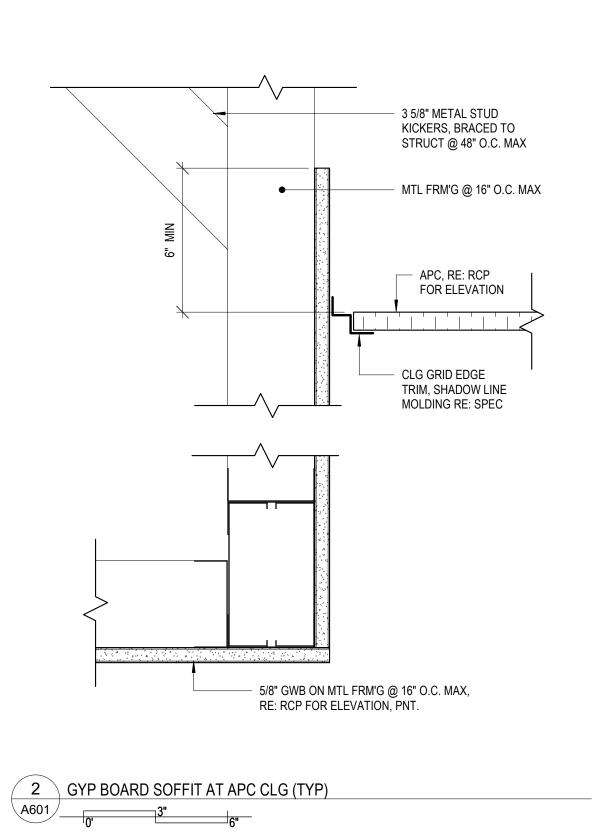
FRP INSIDE CORNER

- SEALANT, SET PANELS INTO A

CONTINUOUS BEAD OF SEALANT

LINE OF WALL BEHIND, TYPE AS SHOWN ON FLOOR PLAN

TRIM, RE: SPECS



FRP PANEL (TYP EA SIDE)

FRP DIVISION TRIM, RE:SPECS

SEALANT, SET PANELS INTO A CONTINUOUS BEAD OF SEALANT

LINE OF WALL BEHIND, TYPE AS SHOWN ON FLOOR PLAN

CONTINUOUS SPREAD

OF ADHESIVE

6 FRP DIVISION TRIM DETAIL
A601 1" 2"

ISSUED FOR: 100% CONSTRUCTION DOCUMENTS **BID PACKAGE #4, ABOVE GROUND**

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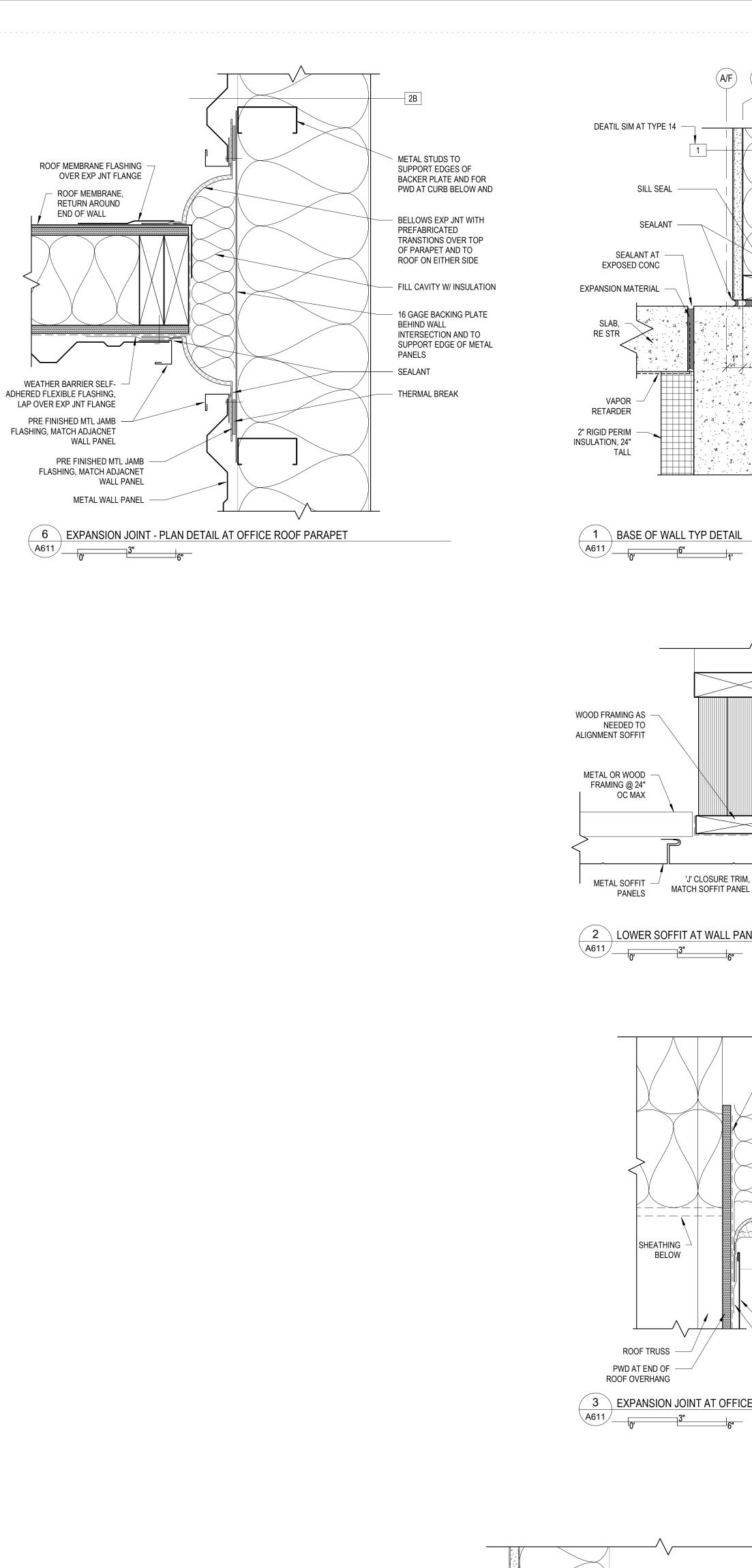
698 LONG ACRE DRIVE GRAND JUNCTION, COLORADO

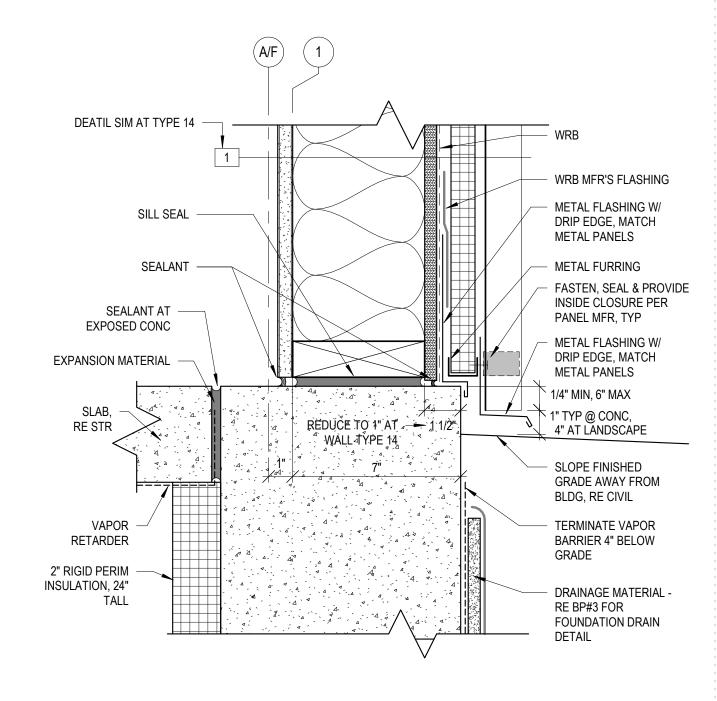
ARCHITECTURAL

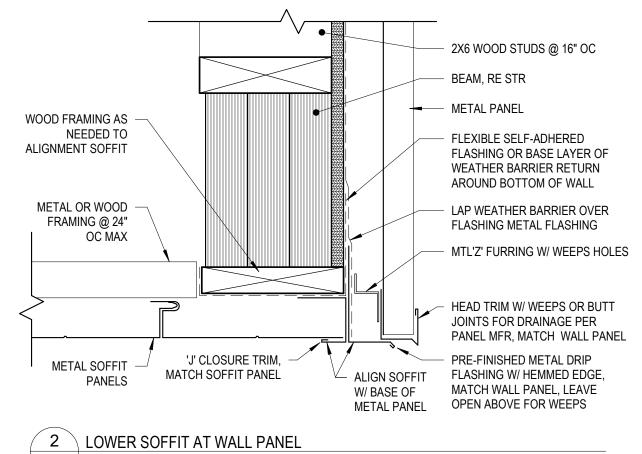
DETAILS - INTERIORS

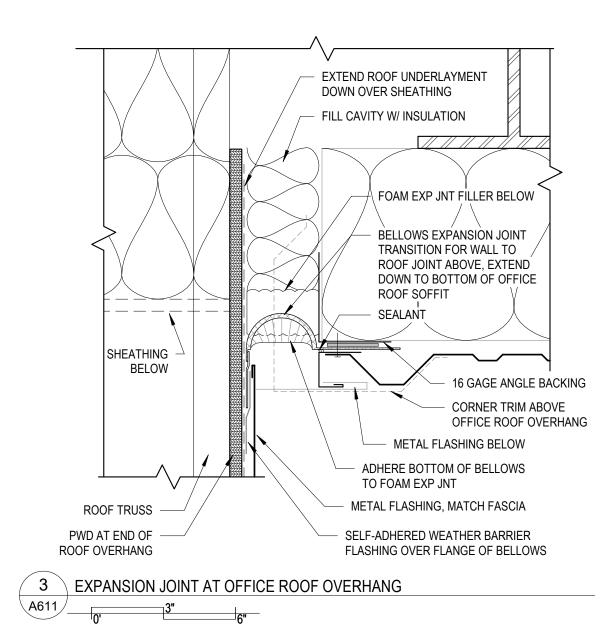
ROCKIES

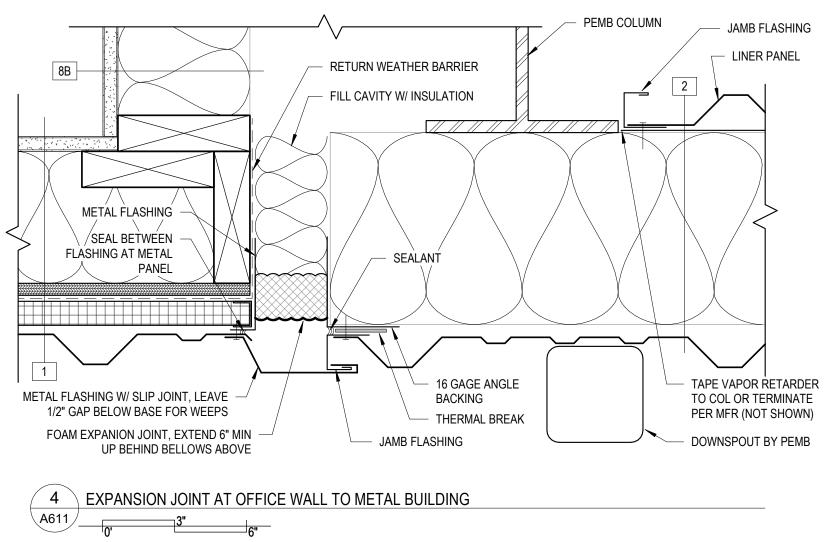
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A611

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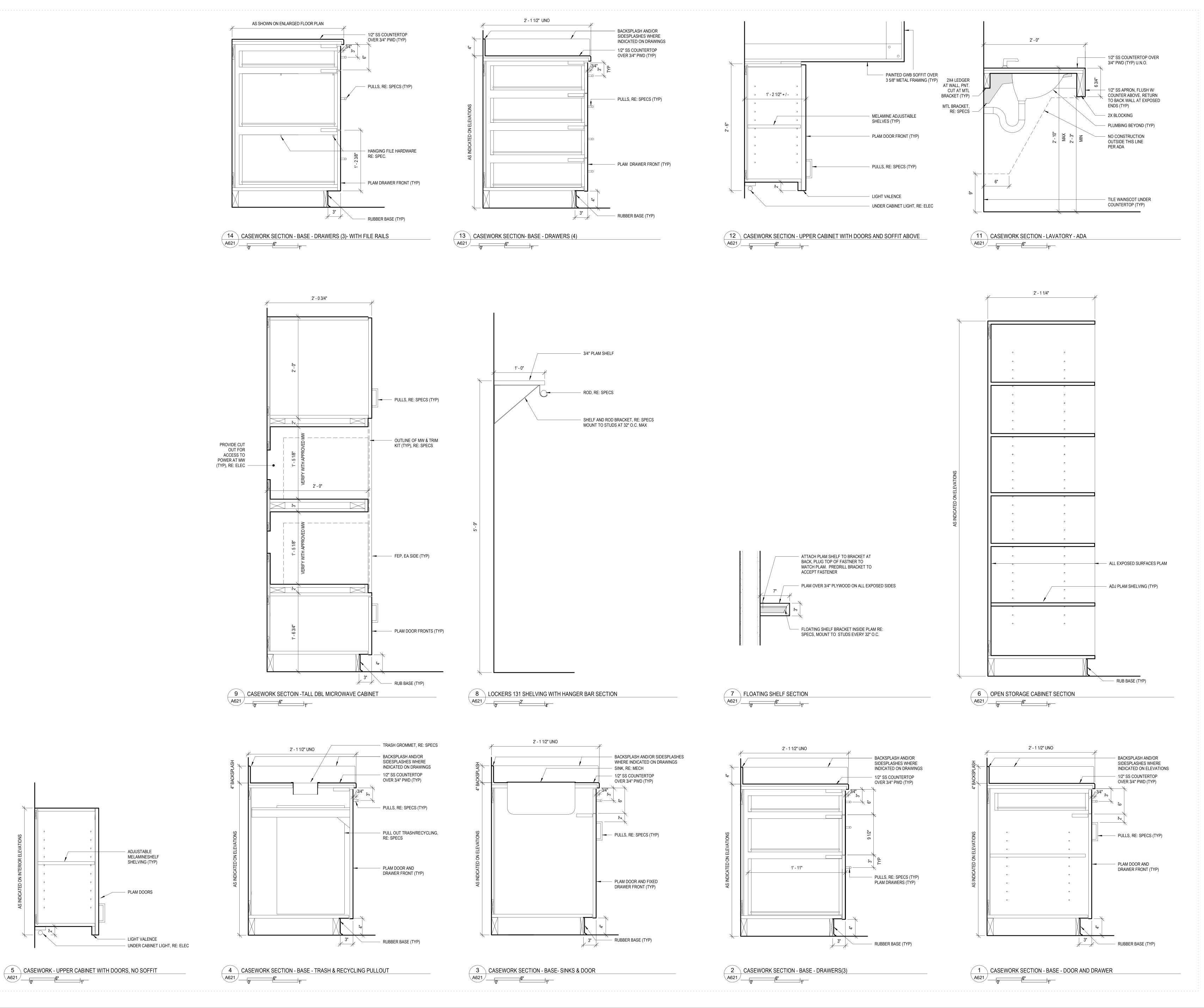
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ARCHITECTURAL DETAILS - EXTERIORS

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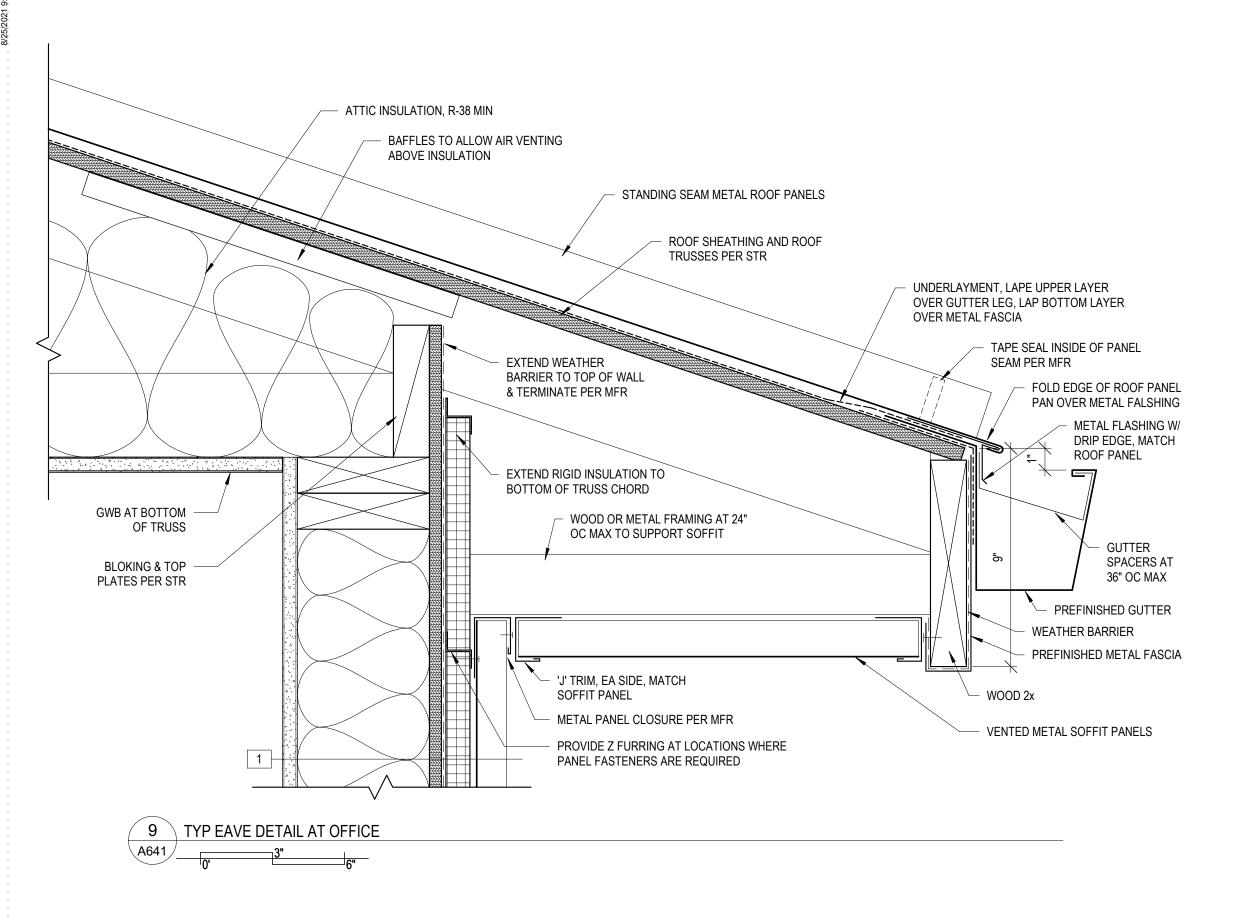
CASEWORK DETAILS

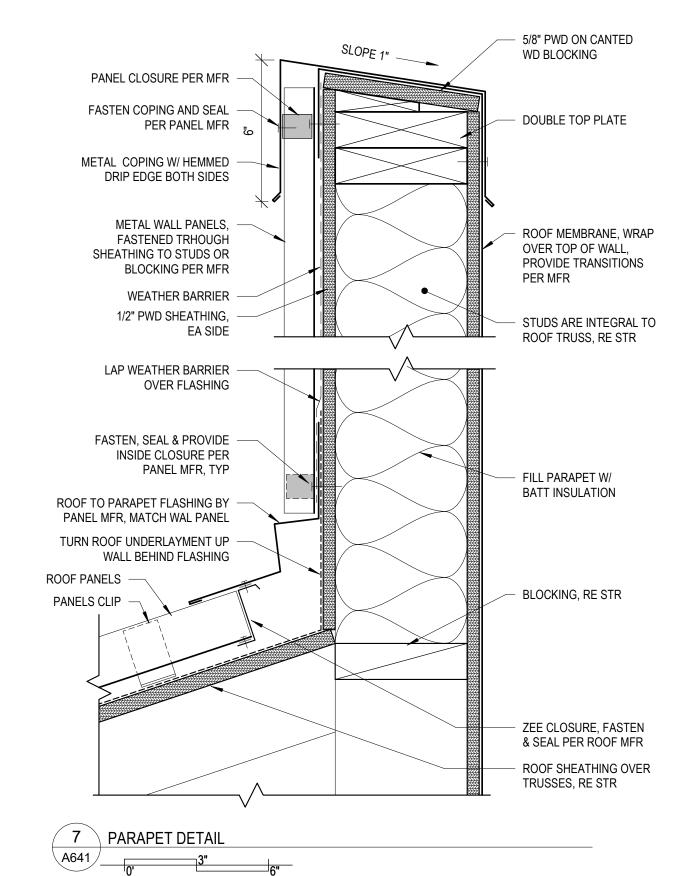
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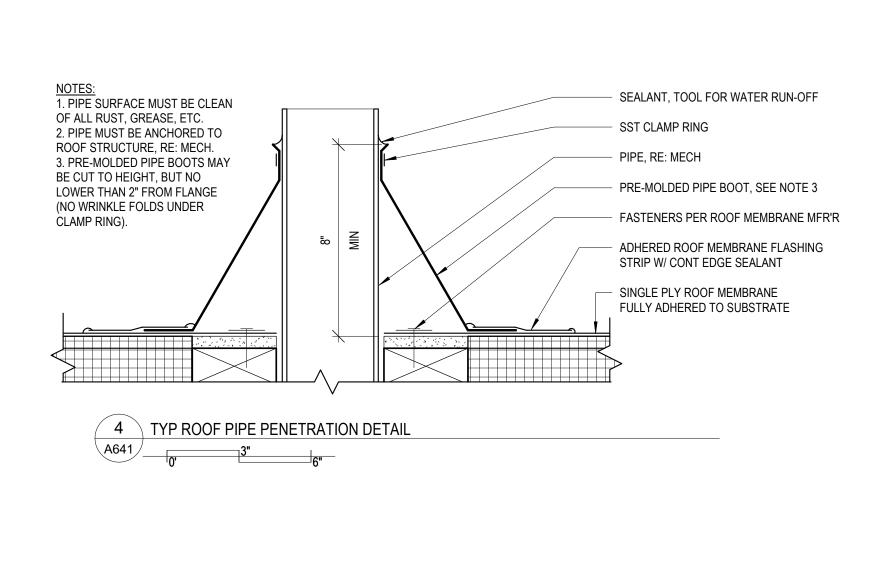
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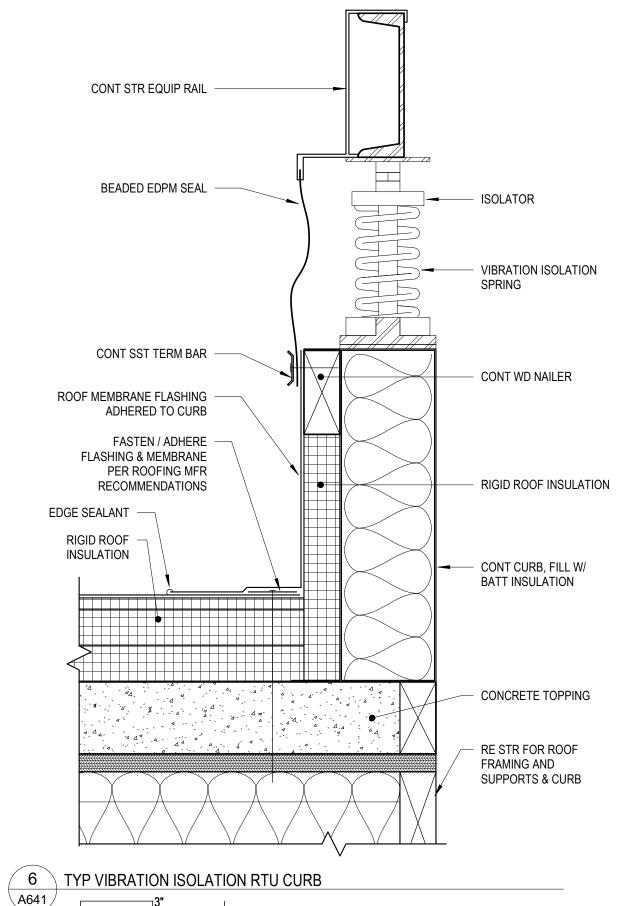
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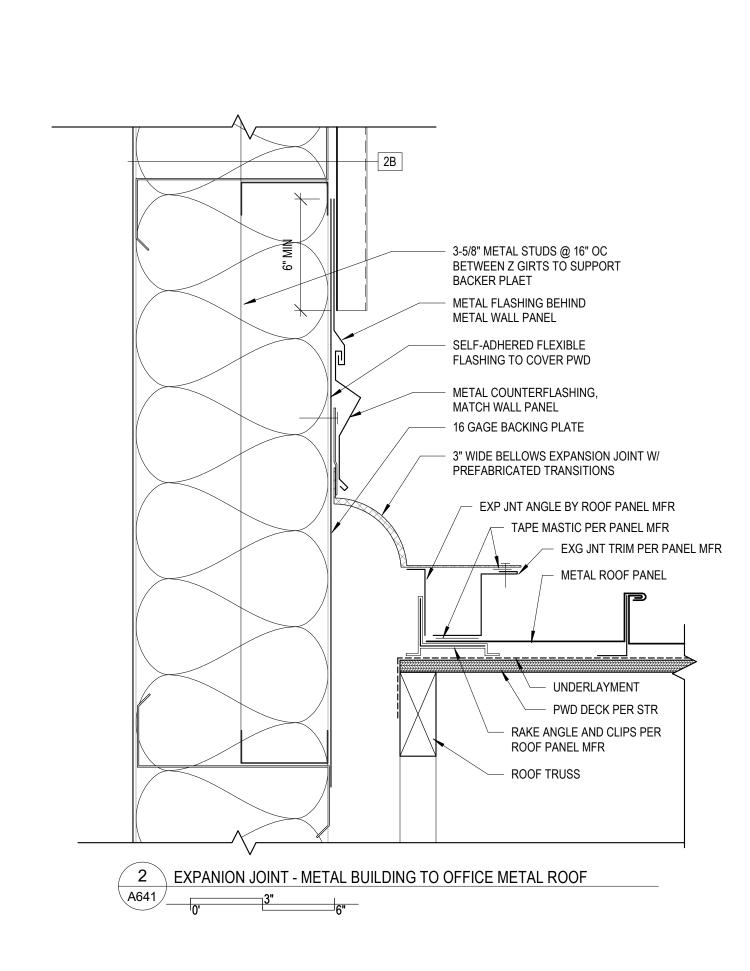
A621

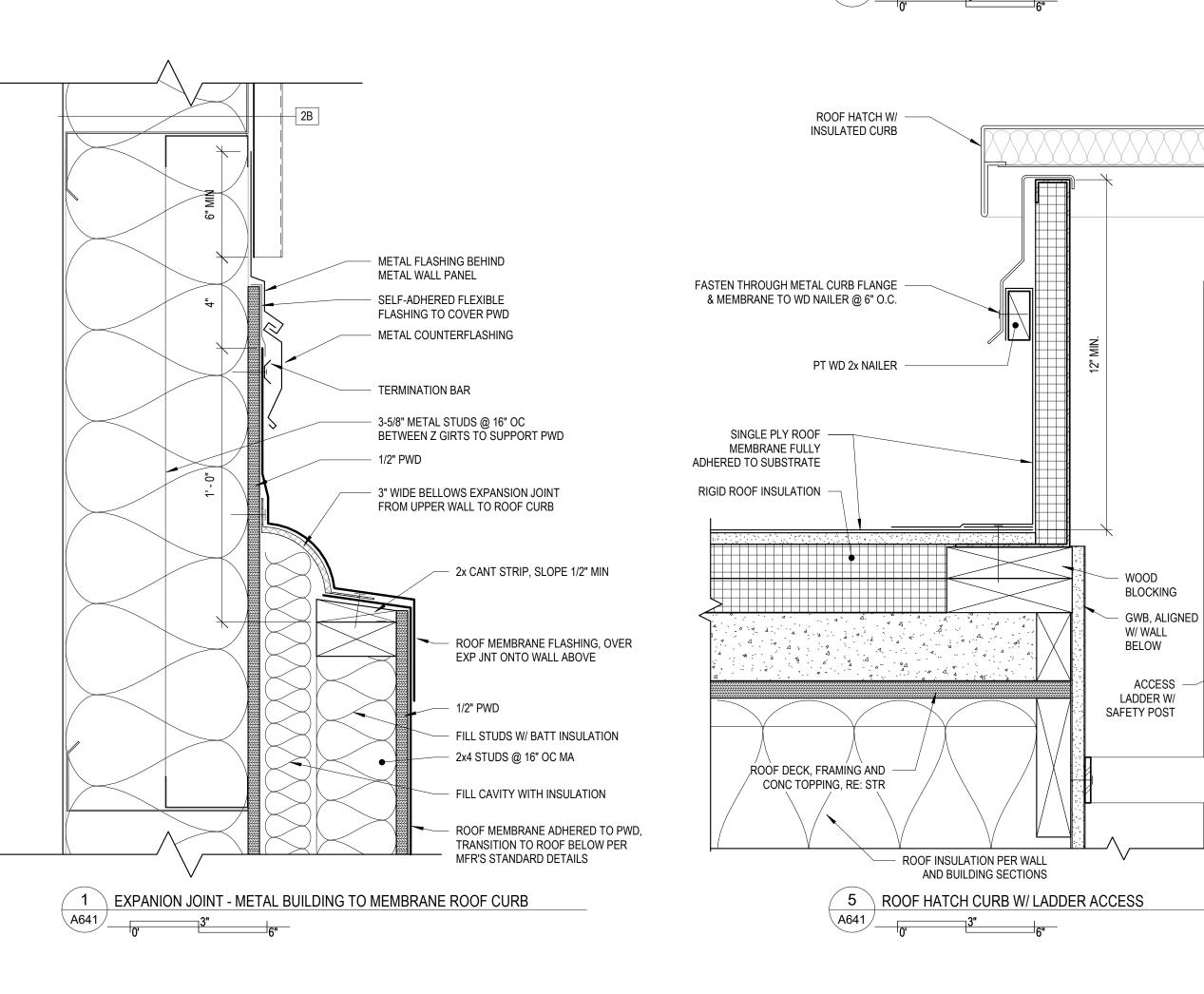


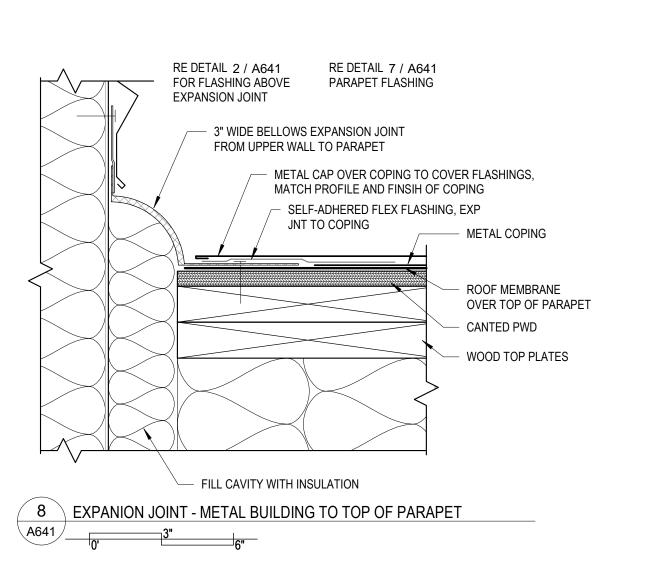


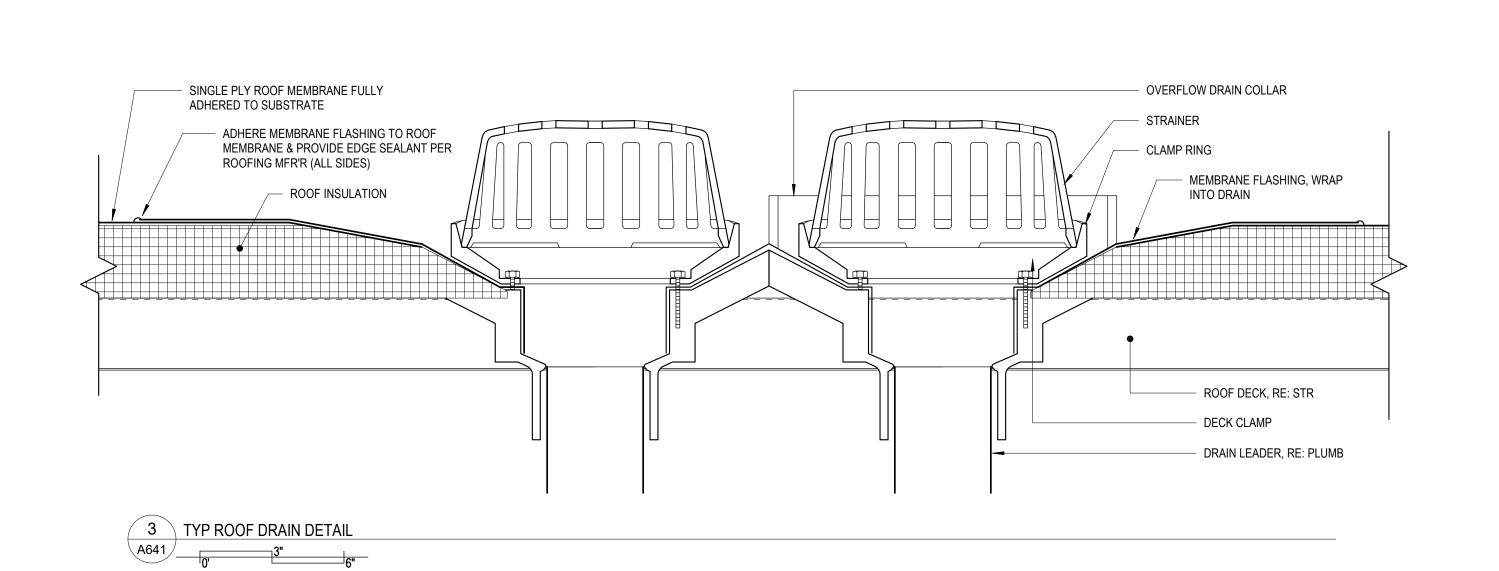
















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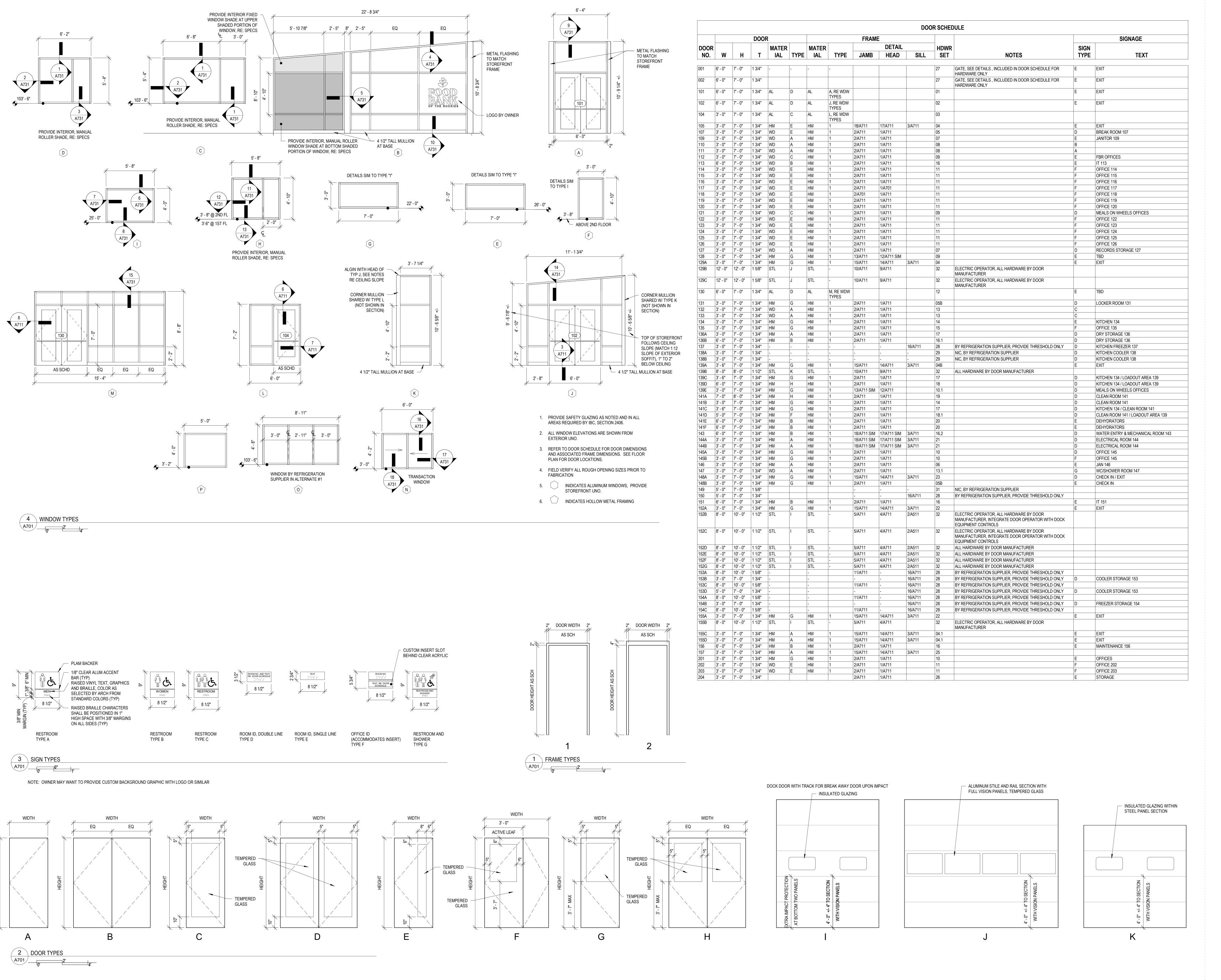
ROOF DETAILS

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698 LONG ACRE DRIVE

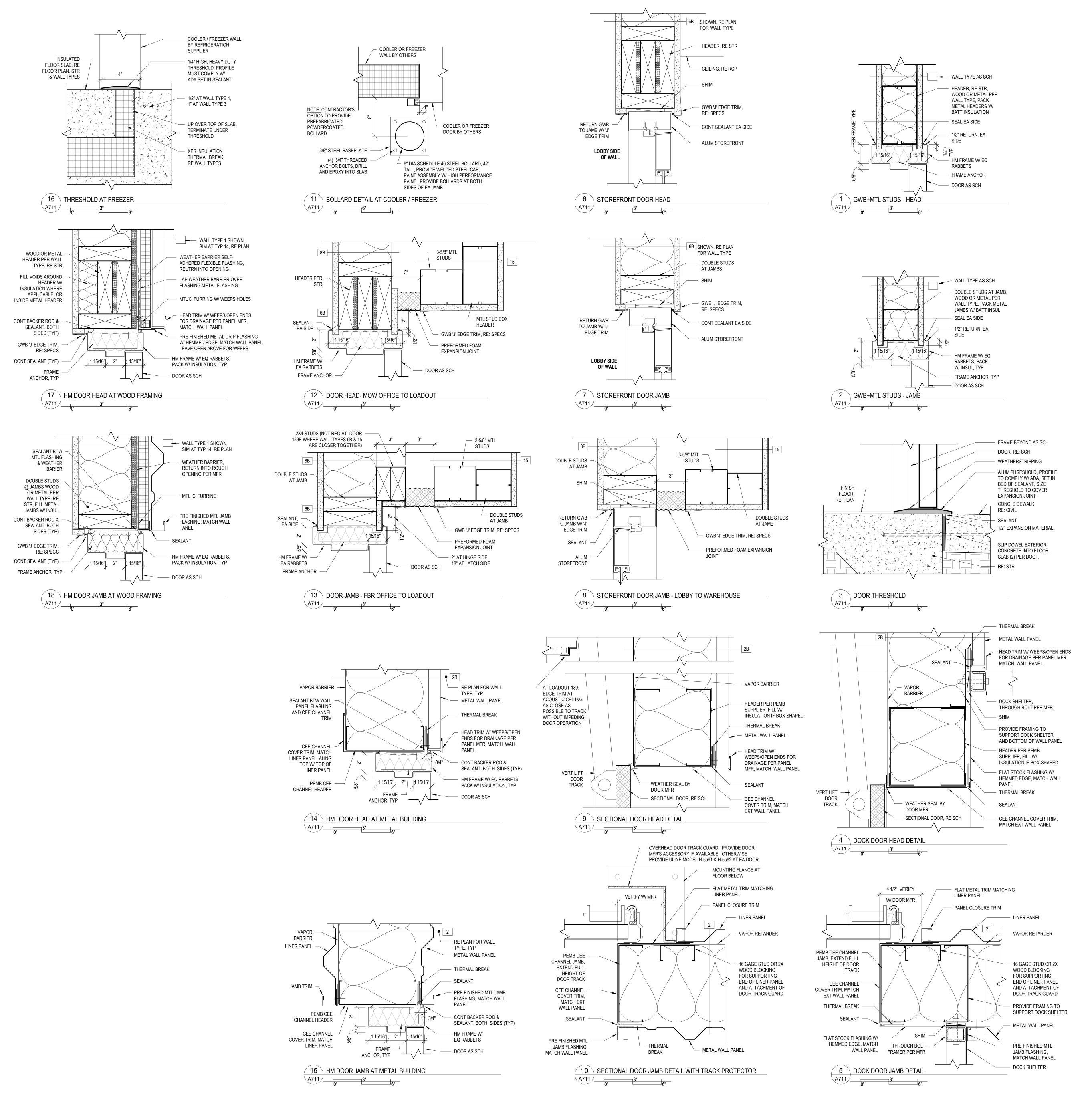
DOOR SCHEDIII F

DOOR SCHEDULE, DOOR & FRAME TYPES, WINDOW TYPES

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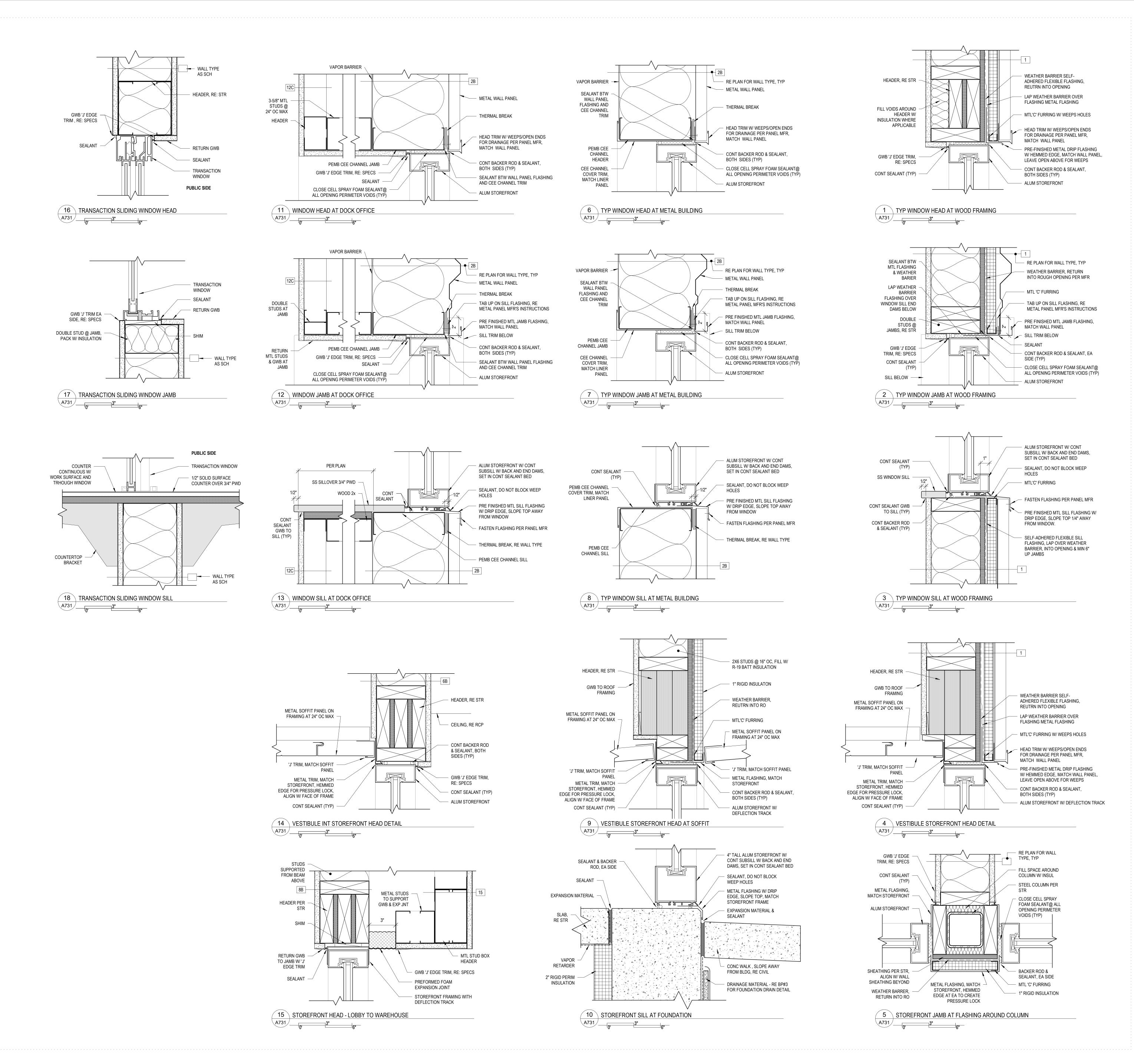
DOOR DETAILS

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WINDOW DETAILS

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COLOR REVIEW AND APPROVAL: THE COLOR SCHEDULES IN THE DRAWINGS INDICATE THE INITIAL COLOR SELECTIONS FOR THE PROJECT. BECAUSE OF THE POTENTIAL FOR PRODUCT SUBSTITUTIONS AND DISCONTINUATION OF COLORS, FINAL COLOR SELECTIONS WILL BE MADE BY THE ARCHITECT ONLY AFTER ALL COLOR SUBMITTALS HAVE BEEN RECEIVED FROM THE CONTRACTOR. SEE DIVISION 01 SPECIFICATIONS SECTION "SUBMITTAL PROCEDURES".

	INTERIOR COLOR SCHEDULE					
SPECIFICATION SECTION						
NUMBER	TITLE	ITEM	COLOR			
03 3543	POLISHED CONCRETE FINISHING	PCONC	NATURAL, MATCH ARCHITECTS SAMPLE FOR CONCRETE COLOR AND AGGREGATE COLOR AND SIZE			
06 4023	INTERIOR ARCHITECTURAL MILLWORK	PLAM	FORMICA, PECAN WOODLINE 5883-58			
06 6400	PLASTIC PANELING	FRP	MARLITE P 100 WHITE			
08 1113	HOLLOW METAL DOORS AND FRAMES	P4	SHERWIN WILLIAMS SW7019 GAUNTLET GRAY			
08 1416	FLUSH WOOD DOORS	DOORS	CLEAR FINISH SELECT WHITE MAPLE, MATCH ARCHITECTS SAMPLE			
08 4113	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS	RE: SPECS				
08 7100	DOOR HARDWARE	RE: SPECS				
09 3000	TILING	T1 - FLOOR TILE	INTERCERAMIC MODULOR, GRIGIO			
09 3000	TILING	T2 - FIELD WALL TILE	INTERCERAMIC MODULOR, COLOR BIANCO			
09 3000	TILING	T3 - ACCENT WALL TILE	FIANDRE USA SHEN, COLOR BAMBOO			
09 3000	TILING	T4 - SHOWER FLOOR TILE	INTERCERAMIC MODULOR, COLOR GRIGIO			
09 3000	TILING	WALL AND FLOOR GROUT	MAPEI 02 PEWTER			
09 5113	ACOUSTICAL PANEL CEILINGS	APC1	ARMSTRONG ULTIMA BEVELED TEGULAR, WHITE TILE AND GRID			
09 5113	ACOUSTICAL PANEL CEILINGS	APC2	ARMSTRONG KITCHEN ZONE, WHITE TILE AND GRID			
09 5113	ACOUSTICAL PANEL CEILINGS	APC3	NOT USED			
09 5113	ACOUSTICAL PANEL CEILINGS	APC4	USG SHEETROCK BRAND LAYIN GYPSUM CEILING PANELS, WHITE TILE AND GRID			
09 6513	RESILIENT BASE AND ACCESSORIES	RUBBER BASE	ROPPE 114 LUNAR DUST			
09 6723	RESINOUS FLOORING	EPOXY	DURAFLEX HYBRI-FLEX AC, COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS			
09 6813	TILE CARPETING	WCPT	MANNINGTON PATTERN FORCE, COLOR KINETIC			
09 6813	TILE CARPETING	CPT1, CPT2, CPT3	MANNINGTION PAPER COLLECTION, NEWS			
09 9000	PAINTING	P1 FIELD WALL COLOR	SHERWIN WILLIAMS SW7636 ORIGAMI WHITE			
09 9000	PAINTING	P2 CEILING AND SOFFIT COLOR	SHERWIN WILLIAMS SW7757 HIGH REFLECTIVE WHITE			
09 9000	PAINTING	P4 HOLLOW METAL DOORS & FRAMES, STAIRS AND RAILINGS	SHERWIN WILLIAMS SW7019 GAUNTLET GRAY			
10 1400	SIGNAGE	TEXT	TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS			
10 1400	SIGNAGE	BACKGROUND	TO BE SELECTED, CUSTOM GRAPHIC FURNISHED BY OWNER			
10 1400	SIGNAGE	ACCENT BAR	TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS			
10 2113	PLASTIC TOILET COMPARTMENTS		TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS			
10 2600	WALL AND DOOR PROTECTION	CGS IN OFFICE AREAS	TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS			
10 2600	WALL AND DOOR PROTECTION	SST CORNER GUARDS	304 BRUSHED STAINLESS STEEL			
10 5126	PLASTIC LOCKERS		TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS			
12 2413	ROLLER WINDOW SHADES		MECHOSHADE, 1004 BLACK / BROWN SHADE FABRIC			
12 3661	SIMULATED STONE COUNTERTOPS	SS - SOLID SURFACE	WILSONART, COLOR LUMINOUS WHITE			

EXTERIOR COLOR SCHEDULE					
	SPECIFICATION SECTION				
NUMBER	TITLE	ITEM	COLOR		
3 3000	CAST IN PLACE CONCRETE	SITE CONCRETE	STANDARD GRAY		
0000	ONOT INTERIOR CONCINETE	OHE CONCRETE	OTHER WAS A COLOR		
05 1200	STRUCTURAL STEEL FRAMING	STEEL BEAMS AND COLUMNS AT CANOPIES	HIGH PERFORMANCE PAINT, COLOR TBD		
5 5000	METAL FABRICATIONS	BOLLARDS	HIGH PERFORMANCE PAINT, COLOR TBD		
5 5000	METAL FABRICATIONS	STEEL HANDRAILS AND GUARDRAILS	HIGH PERFORMANCE PAINT, COLOR TBD		
07 2413	EXTERIOR INSULATION AND FINISH SYSTEMS	EIFS, COLOR-1	TBD		
07 4213	METAL WALL AND SOFFIT PANELS	METAL SOFFIT PANEL (AT WOOD-FRAMED BUILDING)	TRD		
07 4213	METAL WALL AND SOFFIT PANELS	METAL SOFFIT PANEL, PERFORATED (AT WOOD-FRAMED BUILDING)	TBD		
7 5423	THERMOPLASTIC POLYOLEFIN ROOFING (TPO)	TPO	WHITE		
07 6200	SHEET METAL FLASHING AND TRIM	RE 13 3419			
07 9200	JOINT SEALERS	CONCRETE CONTROL JOINT	TBD		
07 9200	JOINT SEALERS	STOREFRONT TO EIFS JOINTS	TBD		
07 9200	JOINT SEALERS	METAL PANEL TO STOREFRONT OR WINDOW	TBD		
07 9200	JOINT SEALERS	METAL PANEL TO DOOR FRAME	TBD		
08 1113	HOLLOW METAL DOORS AND FRAMES	DOORS	PAINT, COLOR TPD		
08 1113	HOLLOW METAL DOORS AND FRAMES	FRAMES	PAINT, COLOR TPD		
08 4113	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS	STOREFRONT FRAMING	CLEAR ANODIZED ALUM		
08 8000	GLAZING	GLASS TYPE 1	CLEAR WITH LOW E COATING		
	000000000000000000000000000000000000000	02/02/11/21	occi a commo		
09 9100	EXTERIOR PAINTING	P11	TBD		
09 9100	EXTERIOR PAINTING	P12	TBD		
09 9600	HIGH PERFORMANCE COATINGS	P13	TBD		
09 9600	HIGH PERFORMANCE COATINGS	P14	TBD		
10 1400	SIGNAGE	EXTERIOR CUT ALUMINUM LETTERS	TBD		
12 9300	SITE FURNISHINGS		TBD		
13 3419	METAL BUILDING SYSTEMS	WALL PANEL COLOR "A"	NUCOR "SLATE GRAY"		
13 3419			NUCOR "DESERT SAND"		
13 3419			NUCOR "DARK BRONZE"		
13 3419		PARAPET COPINGS, FASCIA, AND GUTTER, COLOR "D"	NUCOR "MIDNIGHT BLACK"		
13 3419		DOWNSPOUTS, AT UPPER ROOF	NUCOR "DESERT SAND"		
13 3419		DOWNSPOUTS, OTHER THAN AT UPPER ROOF	NUCOR "SLATE GRAY"		
13 3419			NUCOR "DARK BRONZE"		
13 3419			MATCH ADJACENT METAL PANEL COLOR, UNO		
13 3419		SOFFIT / CEILING AT PEMB CANOPIES	NUCOR "SLATE GRAY"		



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COLOR SCHEDULES

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