

Chamberlin Architects, P.C.
437 Main Street
Grand Junction, CO 81501

ADDENDUM #3

Western Slope Food Bank of the Rockies
2294 Tall Grass Drive

Bid Package #3 - Foundations

Architect's Project No. 2108

August 2, 2021

The original Drawings dated on 6/15/22, for the project noted above are amended as noted in this Addendum. This Addendum may include revised Drawings that are to be inserted in the correct sequence in the Construction Issue. All bidders are required to include the items listed in the Addendum as part of their bid. This Addendum consists of **two (2)** pages plus attachments.

Drawing changes are clouded.

Text deleted from the project manual by this addendum is indicated by Strikethrough (~~example~~). New text included in the Project manual is indicated in double underline typeface (example).

This addendum is issued to revise foundation drawings in response to the pre-engineered metal building updated reactions. Alternate #3 is revised so that it includes an insulated floor at the Kitchen Freezer, but not the Kitchen Cooler. The foundation wall of the dock is offset 6" to project out from the building. The concrete curbs used as wall protection around the coolers and freezers have been deleted. The stair has been deleted at the dumpster area and replaced with a platform, which will be updated on civil drawings in a future addendum for Bid Package #2.

<u>ITEM NO.</u>	<u>DESCRIPTION</u>
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DRAWINGS

ADD3-1	Sheet T001 Cover Sheet, General Notes, Wall Types: Delete sheet and replace with attached reissued sheet T001.
ADD3-2	Sheet A011 Architectural Site Plan: Delete sheet and replace with attached reissued sheet A011.
ADD3-3	Sheet A021 Main Floor Plan – West: Delete sheet and replace with attached reissued sheet A021.
ADD3-4	Sheet A022 Main Floor Plan – East: Delete sheet and replace with attached reissued sheet A022.

ARCHITECT:	Chamberlin Architects, P.C.
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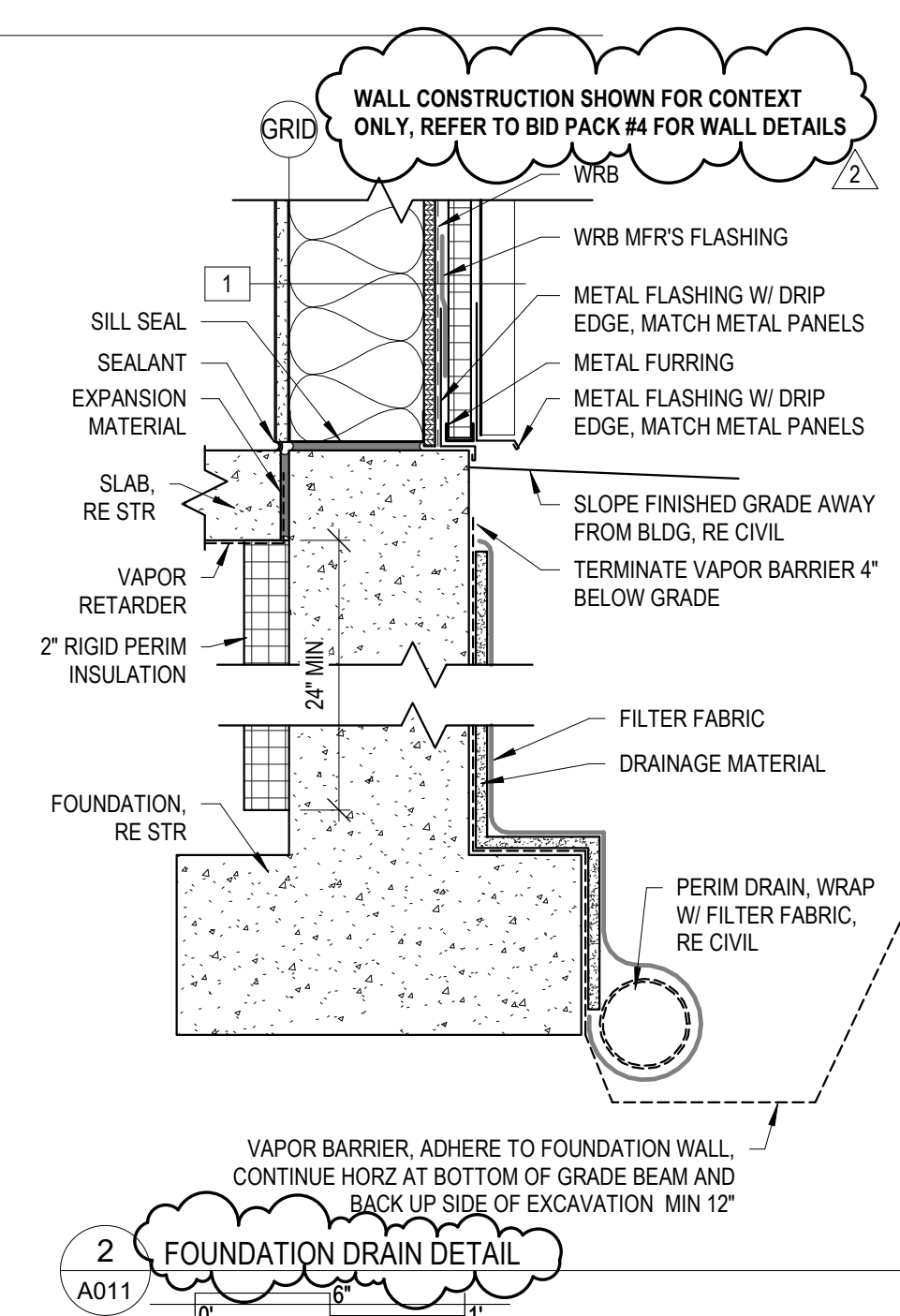
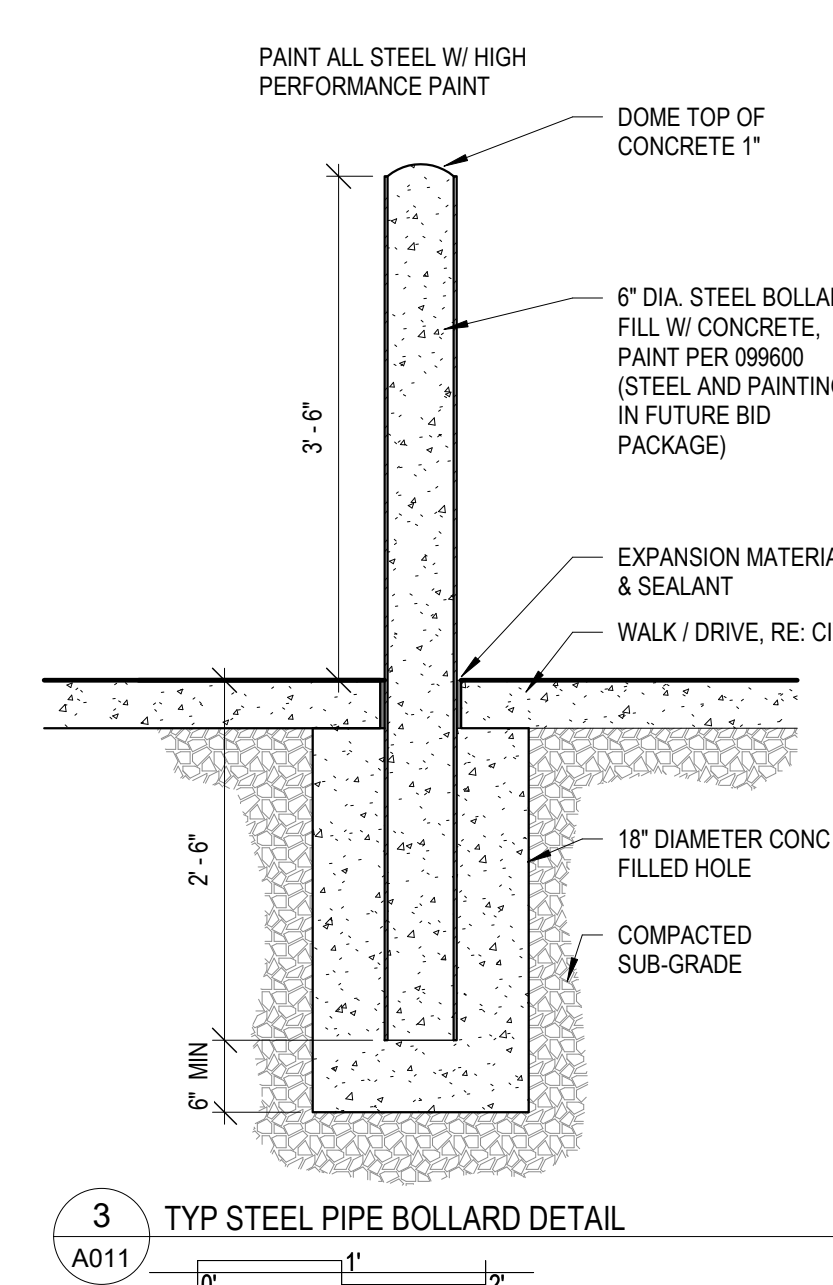
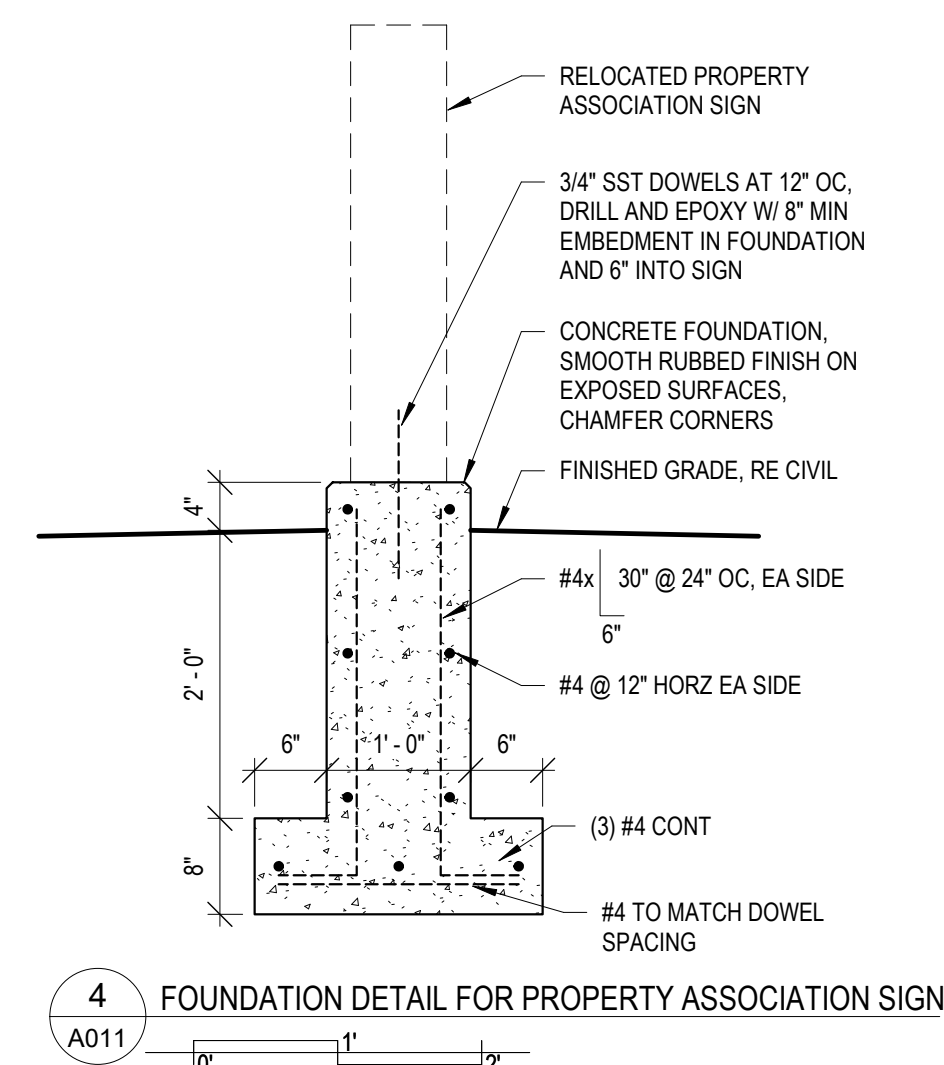
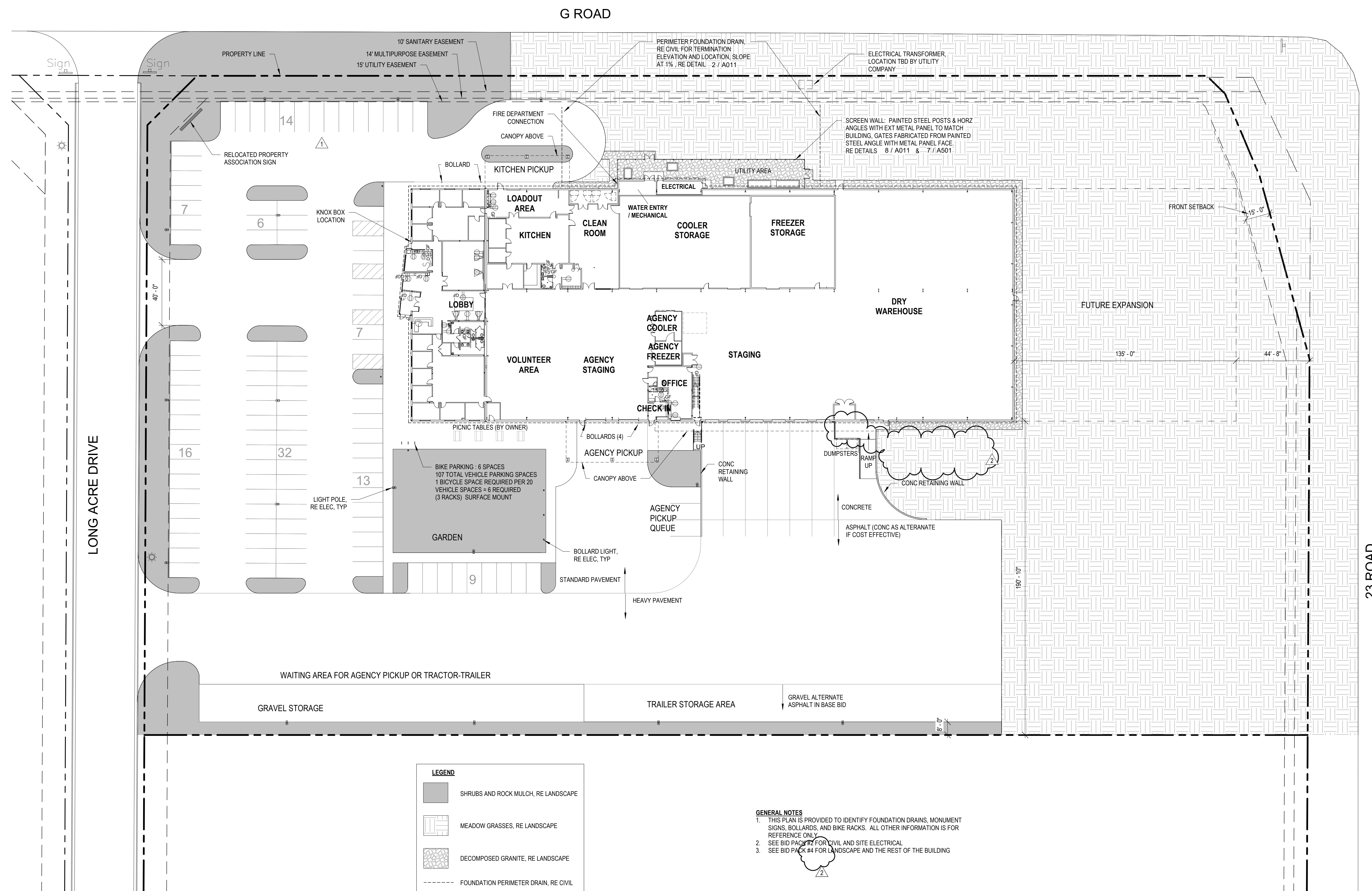
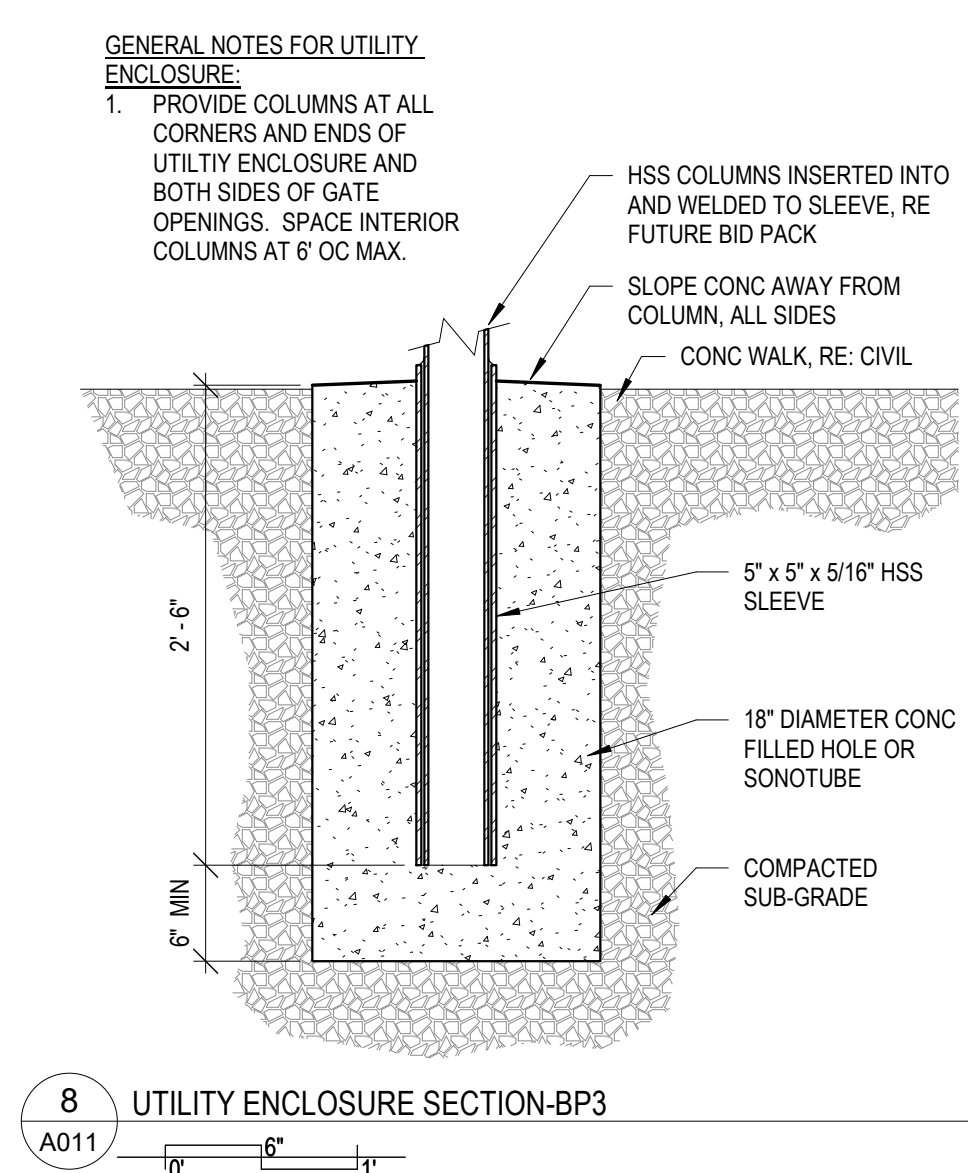
BY:	Eric Mendell, AIA
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- ADD3-5 Sheet S101 Overall Foundation Plan: Delete sheet and replace with attached reissued sheet S101.
- ADD3-6 Sheet S102 Foundation Plan – West: Delete sheet and replace with attached reissued sheet S102.
- ADD3-7 Sheet S103 Foundation Plan – East: Delete sheet and replace with attached reissued sheet S103.
- ADD3-8 Sheet S200 Typical Foundation & Framing Details: Delete sheet and replace with attached reissued sheet S200.
- ADD3-9 Sheet S301 Foundation Sections & Details: Delete sheet and replace with attached reissued sheet S301.

END OF ADDENDUM 3

ARCHITECT: Chamberlin Architects, P.C.

BY: Eric Mendell, AIA



**FOOD BANK OF THE
ROCKIES**

698 LONG ACRE DRIVE
GRAND JUNCTION, COLORADO

ARCHITECTURAL SITE
PLAN

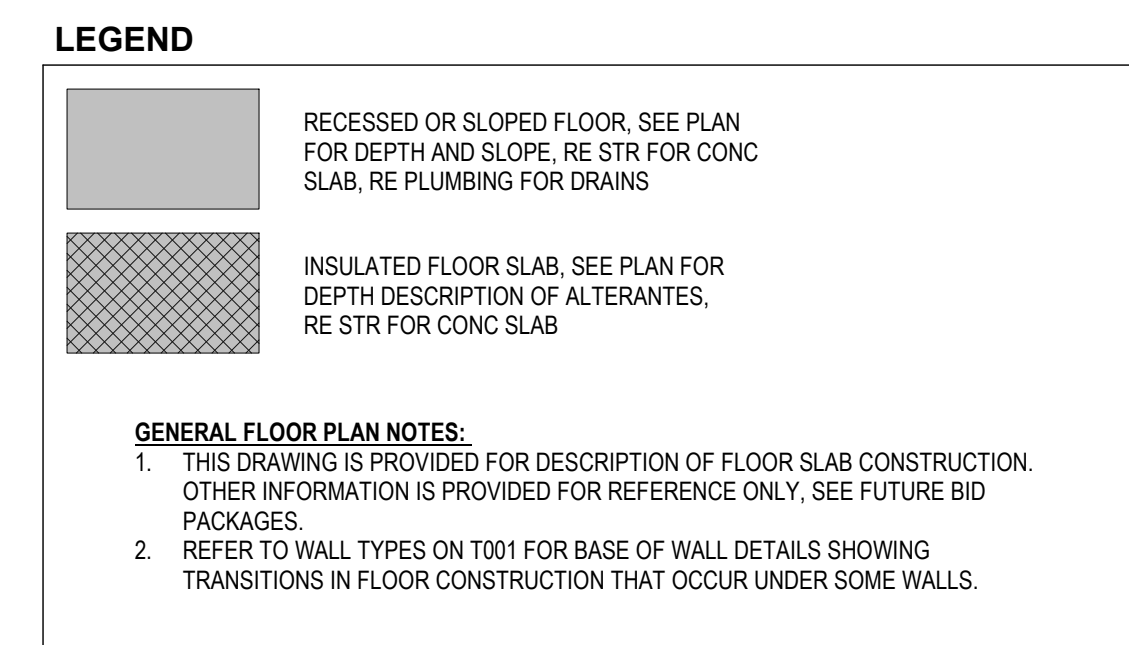
NO:	ISSUED FOR:	DATE:
1	ADDENDUM #1	6/23/2021
2	ADDENDUM #3	8/02/2021

BID PACKAGE #3, FOUNDATIONS

DATE:
06/15/21

PROJECT NO
2108

A011



PROJECT NO: **A021**
2108



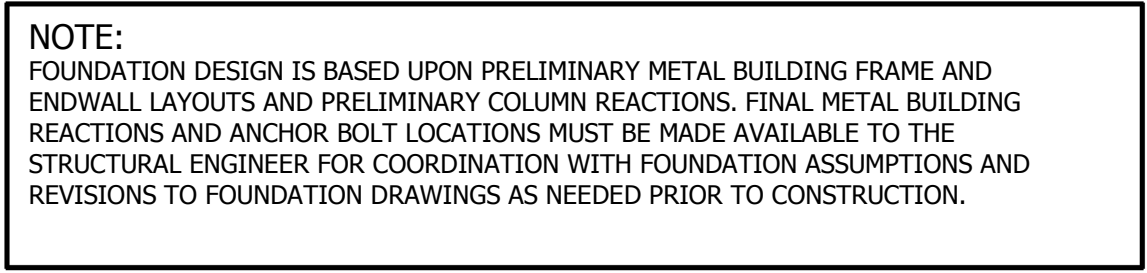


DATE:
07/13/21

SHEET NO:

PROJECT NO:
21.029

S101

PROJECT NO: **S102**
21.029

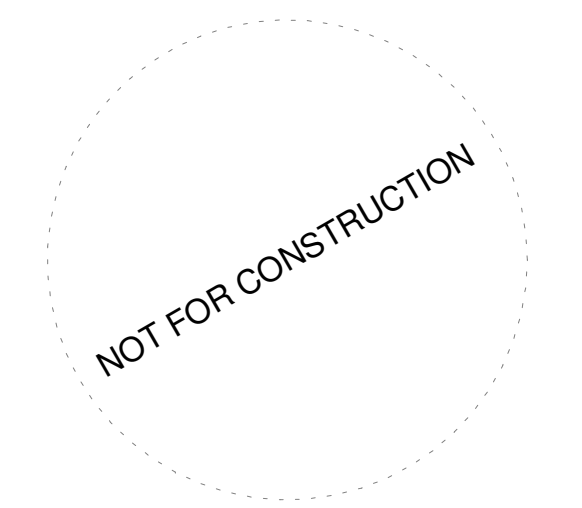
1. TOP OF SLAB ELEVATION = 100'-0" (TYP. U.N.O.).
2. REINFORCE 5" CONCRETE SLABS ON GRADE W/ #4 @ 16 EACH WAY. PLACE IN TOP HALF OF SLAB.
3. REINFORCE 8" CONCRETE SLABS ON GRADE WITH #5 @ 12 EACH WAY, TOP AND BOTTOM.
4. VERIFY DOOR OPENING LOCATIONS AND DIMENSIONS AGAINST ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.



NORTH

STRUCTURAL FILL NOTES

EXCAVATE TO REMOVE 3'-0" MIN. OF EXISTING SOILS BELOW WALL AND COLUMN FOOTINGS, AND A MINIMUM OF 2'-6" BELOW INTERIOR SLABS ON GRADE. SCARIFY 6" - 8" OF THE EXPOSED SUBGRADE. MOISTURE CONDITION, AND RECOMPACT TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY. REPEAT THE EXCAVATION AND RECOMPACT ANY SOFT MATERIALS BELOW THE BOTTOM OF EXCAVATION WITH IMPORTED STRUCTURAL FILL AND GEOGRID, IF REQUIRED, PER THE SOILS REPORT. REPLACE THE REMOVED SOILS WITH IMPORTED STRUCTURAL FILL, CORRESPONDING TO THE EXISTING SOILS OR COT CLASS 6 MATERIAL, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY (ASTM D698) IN 8" MAXIMUM LIFTS. STRUCTURAL FILL MATERIAL BELOW WALL AND COLUMN FOOTINGS SHALL BE PLACED AND COMPACTED CONTINUALLY FROM EACH EDGE OF THE FOOTINGS. SEE SOILS REPORT.



FOOD BANK OF THE ROCKIES

2295 TALL GRASS DRIVE
GRAND JUNCTION, COLORADO

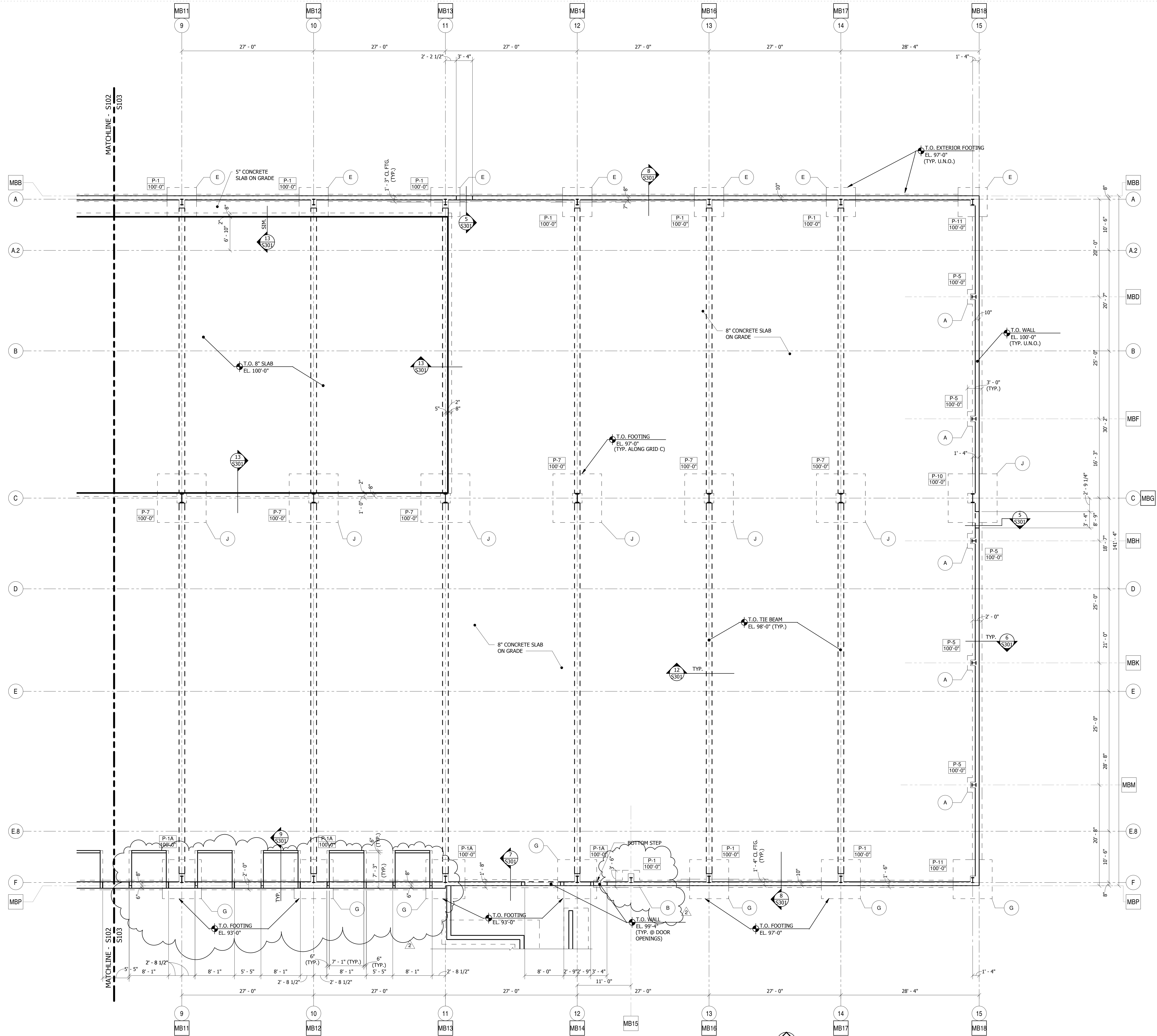
FOUNDATION PLAN - EAST

NO: ISSUED FOR: DATE:
BP 03 Addendum 03 08/02/21

PROJECT STATUS: 50% CD

DATE: 07/13/21 SHEET NO:

PROJECT NO: 21.029 **S103**



NOTE:
FOUNDATION DESIGN IS BASED UPON PRELIMINARY METAL BUILDING FRAME AND
ENDWALL LAYOUT AND PRELIMINARY COLUMN REACTIONS. FINAL METAL BUILDING
REACTIONS AND PRELIMINARY BOLT LOCATIONS MUST BE MADE AVAILABLE TO THE
STRUCTURAL ENGINEER FOR COORDINATION WITH FOUNDATION ASSUMPTIONS AND
REVISIONS TO FOUNDATION DRAWINGS AS NEEDED PRIOR TO CONSTRUCTION.

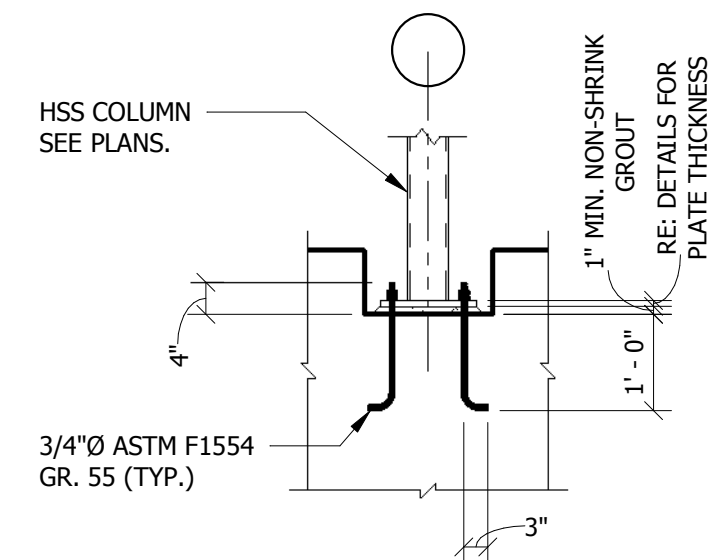
FOUNDATION PLAN - EAST

1/8" = 1'-0"



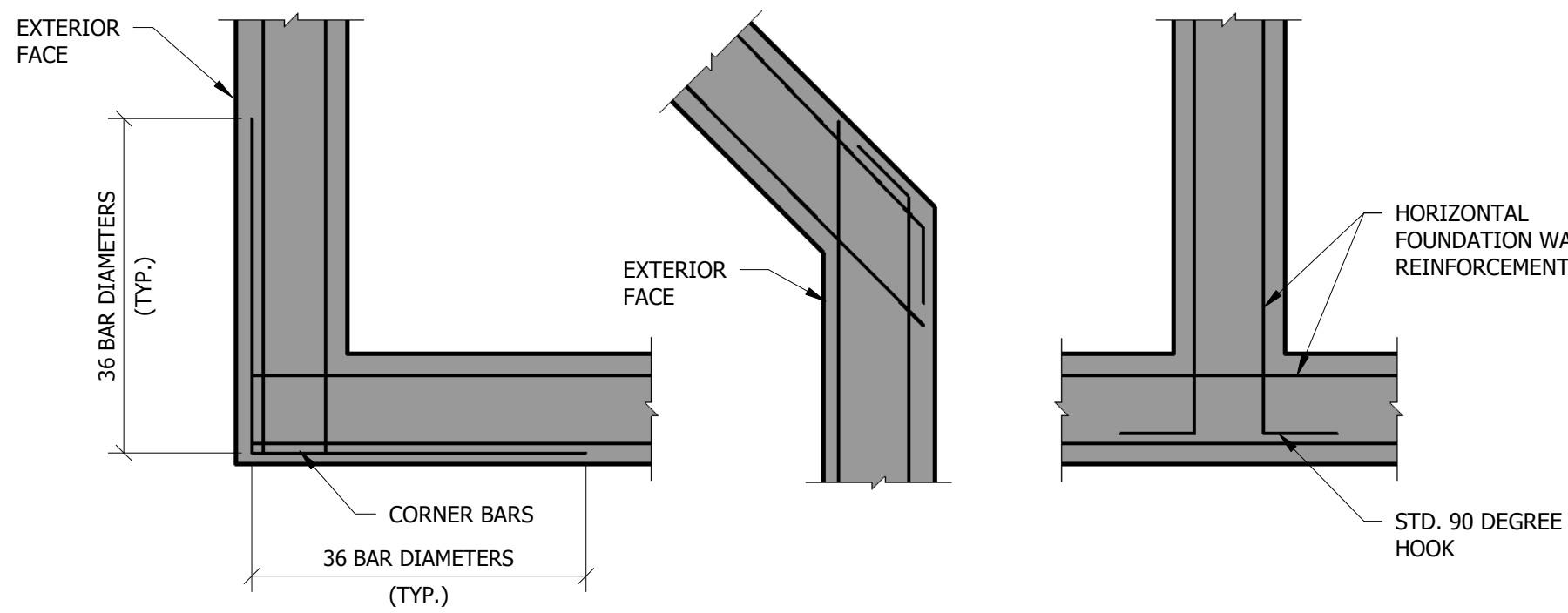
1. TOP OF SLAB ELEVATION = 100'-0" (TYP. U.N.O.).
2. REINFORCE 5" CONCRETE SLABS ON GRADE W/ #4 @ 16 EACH WAY. PLACE IN TOP HALF OF SLAB.
3. REINFORCE 8" CONCRETE SLABS ON GRADE WITH #5 @ 12 EACH WAY, TOP AND BOTTOM.
4. VERIFY DOOR OPENING LOCATIONS AND DIMENSIONS AGAINST ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.

STRUCTURAL FILL NOTES
EXCAVATE TO REMOVE 3'-0" MIN. OF EXISTING SOILS BELOW WALL
AND COLUMN FOOTINGS, AND A MINIMUM OF 2'-6" BELOW INTERIOR
SLABS ON GRADE. SCARIFY 6" - 8" OF THE EXPOSED SUBGRADE,
MOISTURE CONDITION, AND RECOMPACT TO A MINIMUM OF 95%
STANDARD PROCTOR DENSITY (ASTM D698). REMOVE AND REPLACE
ANY SOFT MATERIALS BELOW THE BOTTOM OF EXCAVATION WITH
IMPORTED STRUCTURAL FILL AND GEGRID, IF REQUIRED, PER THE
SOILS REPORT. REPLACE THE REMOVED SOILS WITH IMPORTED
STRUCTURAL FILL CONSISTING OF 1/4" MINUS CRUSHER FINES OR
CDOT CLASS 6 MATERIAL, MOISTURE CONDITIONED AND COMPACTED
TO A MINIMUM 95% STANDARD PROCTOR DENSITY (ASTM D698) IN 8"
MAXIMUM LIFTS. STRUCTURAL FILL MATERIAL BELOW WALL AND
COLUMN FOOTINGS SHALL EXTEND 3'-0" MIN. HORIZONTALLY FROM
EACH EDGE OF THE FOOTINGS. SEE SOILS REPORT.

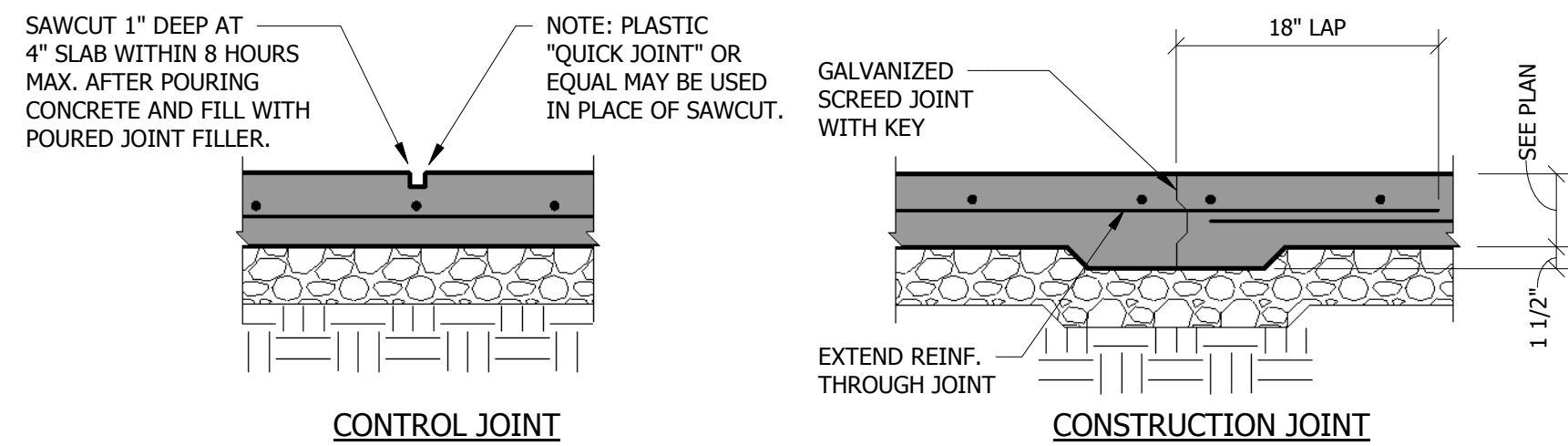


TYPICAL 3/4"Ø ANCHOR BOLTS

TYPICAL ANCHOR BOLT DETAILS 1/2" = 1'-0"



TYPICAL CORNER DETAILS 1" = 1'-0"



TYPICAL SLAB JOINT DETAILS 1" = 1'-0"

NOT FOR CONSTRUCTION

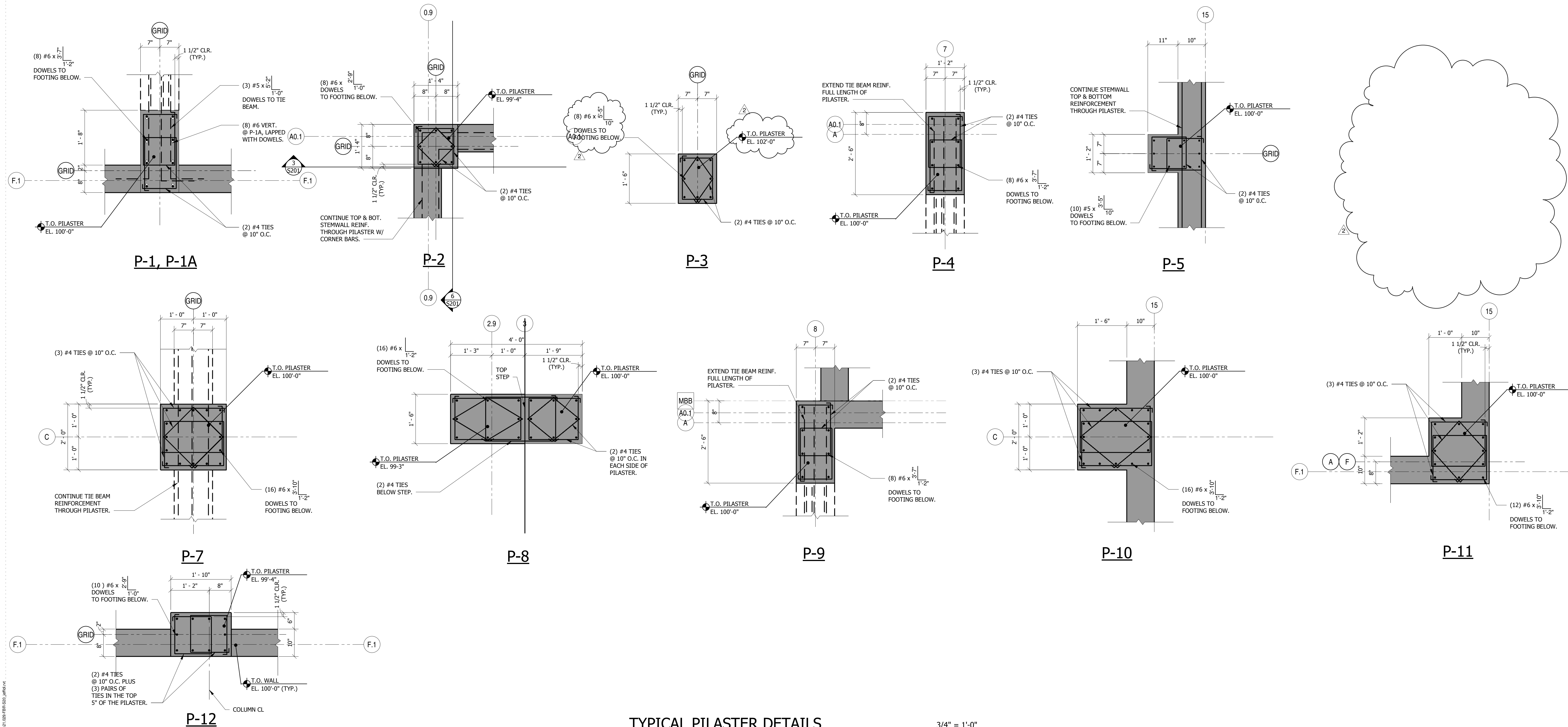
METAL BUILDING COLUMN ANCHOR BOLTS			
DIAMETER	LENGTH (L)	HOOK (b)	PROJECTION (p)
5/8"Ø	1'-6"	3"	3"
3/4"Ø	1'-6"	4"	3"
1"	2'-0"	4"	3"
1 1/4"Ø	2'-6"	4"	3"

1. ALL ANCHOR ROD MATERIAL SHALL CONFORM TO ASTM F1554, GRADE 55.
2. RE: BUILDING MANUFACTURER'S BASE PLATE DETAILS FOR ANCHOR BOLT LOCATIONS & SPACING.

PLYWOOD/SHEAR WALL NAILING SCHEDULE							
USE	PLYWOOD THICKNESS	SPAN/INDEX RATIO	EDGE NAILING	INTERIOR NAILING	HOLD DOWN	END STUD	ANCHOR BOLT / STUD BOLT
FLOOR	3/4" T.&G.	24	8d @ 6" O.C.	8d @ 12" O.C.	--	--	--
SLOPED ROOF	19/32"	32/16	10d @ 4" O.C. (BOUNDARIES) 10d @ 6" O.C. (ALL OTHER EDGES)	10d @ 12" O.C.	--	--	--
WALL (TYP.)	15/32"	24/0	8d @ 6" O.C.	8d @ 12" O.C.	--	--	--
SHEAR WALL:		15/32"	24/0	10d @ 6" O.C.	10d @ 12" O.C.	"HD7B" (2) 2x6 STUDS	7/8"Ø x 12" (3) 3/4"Ø THRU-BOLTS

1. PLYWOOD FOR ROOFS, FLOORS, AND SHEAR WALL SHEATHING SHALL BE APA GRADE TRADEMARKED CDX W/ EXTERIOR GLUE. LAY UP PLYWOOD W/ FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS. ALL NAILS SHALL BE COMMON NAILS; RING SHANKED FOR ROOF AND FLOOR SHEATHING. REFER TO TABLE ABOVE FOR USE REQUIREMENTS.
2. OSB SHEATHING MAY BE USED AS AN ALTERNATE TO PLYWOOD W/ PRIOR APPROVAL OF OWNER AND CONTRACTOR. OSB SHEATHING SHALL COMPLY WITH THE APA PLYWOOD DESIGN SPECIFICATION AND SHALL HAVE A SPAN RATING EQUIVALENT TO, OR BETTER, THAN THE PLYWOOD IT REPLACES. ATTACHMENT AND THICKNESS (WITHIN 1/32") SHALL BE THE SAME AS THE PLYWOOD IT REPLACES.
3. ALL EDGES OF ROOF SHEATHING SHALL BE BLOCKED WITH A 2" NOMINAL WOOD FRAMING MEMBER.
4. AT ABUTTING SHEAR WALL PANEL EDGES, STUDS SHALL BE NO LESS THAN A SINGLE 3" NOMINAL MEMBER AND NAILS SHALL BE STAGGERED.
5. PROVIDE (3) 2" NOMINAL STUDS AND HOLDDOWNS AT EACH END OF SHEAR WALL (TYP. U.N.O.).
6. HOLDDOWNS LISTED ARE BY SIMPSON STRONG-TIE. ALTERNATES MUST BE EQUIVALENT AND MUST BE APPROVED BY THE STRUCTURAL ENGINEER.
7. HEADED ANCHOR BOLTS AT HOLDDOWNS SHALL CONFORM TO ASTM F1554 GRADE 55. ANCHORS SHALL HAVE A MINIMUM EMBEDMENT OF 2'-0" AND SHALL HAVE A MINIMUM PROJECTION OF 6".
8. PROVIDE CONSTRUCTION ADHESIVE BETWEEN TOP OF FLOOR JOISTS AND PLYWOOD SUB-FLOOR.

FOOTING SCHEDULE			
MARK	SIZE	REINFORCEMENT	REMARKS
A	3'-0 x 3'-0 x 0'-10"	(4) #5 EACH WAY BOTTOM EQUAL SPACING	
B	3'-6 x 3'-6 x 0'-10"	(4) #5 EACH WAY BOTTOM EQUAL SPACING	
C	4'-0 x 4'-0 x 1'-0"	(5) #5 EACH WAY BOTTOM EQUAL SPACING	
D	5'-0 x 5'-0 x 1'-0"	(6) #6 EACH WAY BOTTOM EQUAL SPACING	
E	6'-0 x 6'-0 x 1'-0"	(8) #5 EACH WAY BOTTOM EQUAL SPACING	
F	7'-0 x 7'-0 x 1'-0"	(8) #5 EACH WAY BOTTOM EQUAL SPACING	
G	8'-0 x 8'-0 x 1'-2"	(10) #5 EACH WAY BOTTOM EQUAL SPACING	
J	10'-0 x 10'-0 x 1'-4"	(10) #5 EACH WAY BOTTOM EQUAL SPACING	



TYPICAL PILASTER DETAILS 3/4" = 1'-0"

FOOD BANK OF THE ROCKIES

2295 TALL GRASS DRIVE
GRAND JUNCTION, COLORADO

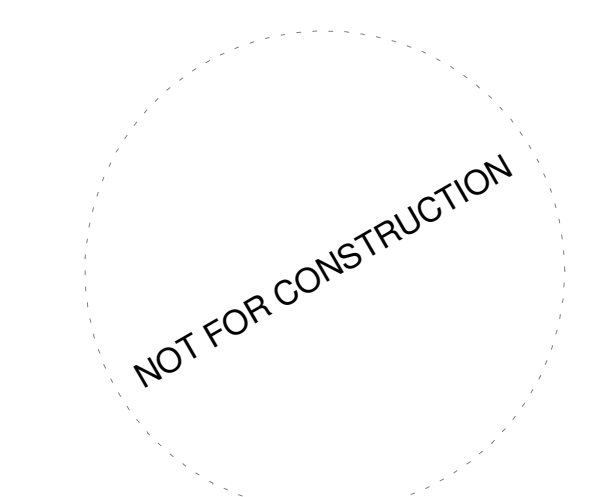
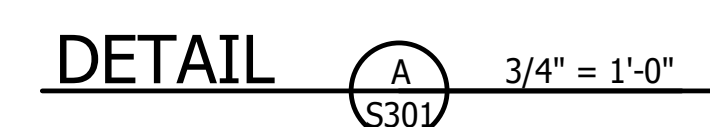
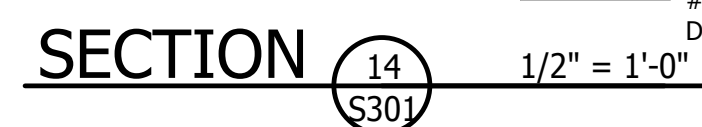
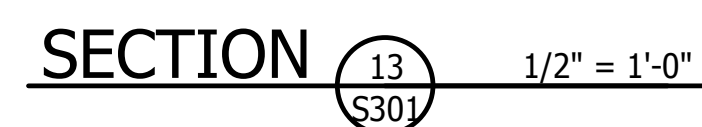
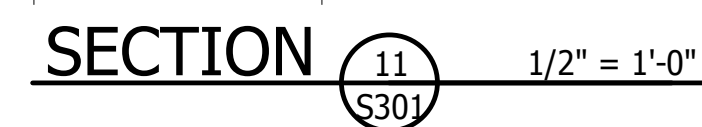
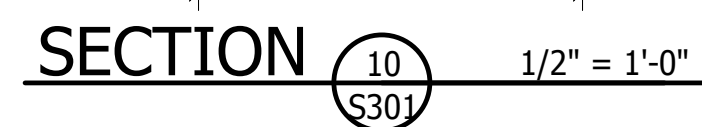
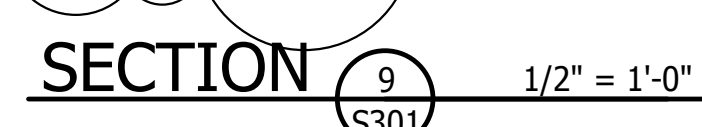
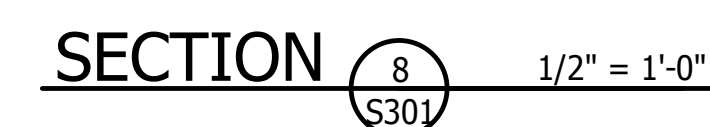
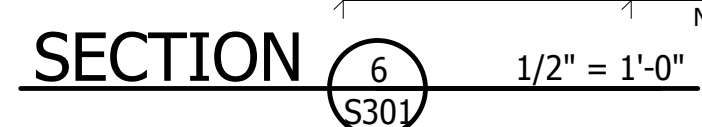
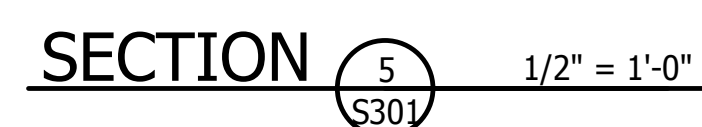
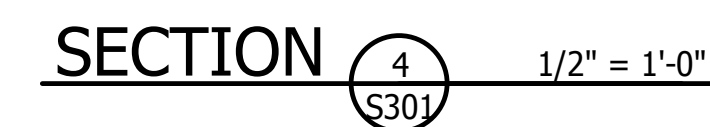
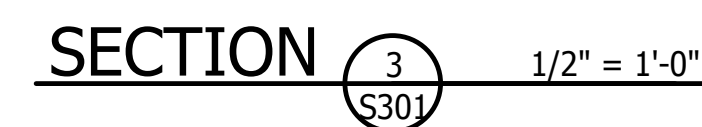
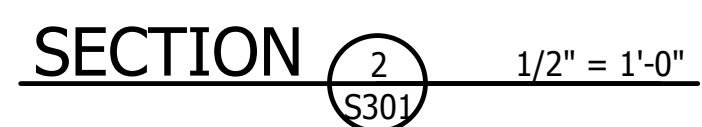
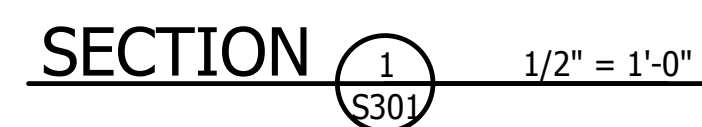
TYPICAL FOUNDATION & FRAMING DETAILS

NO: ISSUED FOR: DATE:
BP 03 Addendum 02 06/24/21
BP 03 Addendum 03 08/02/21

PROJECT STATUS: 50% CD

DATE: 07/13/21 SHEET NO:
PROJECT NO: 21.029

S200



2295 TALL GRASS DRIVE
GRAND JUNCTION, COLORADO

NO:	ISSUED FOR:	DATE:
1	BP 03 Addendum 02	06/24/21
2	BP 03 Addendum 03	08/02/21

PROJECT STATUS: 50% CD

DATE: 07/13/21

SHEET NO:

PROJECT NO: 21.029

S301