ADDENDUM #3

Chamberlin Architects, P.C. 437 Main Street Grand Junction, CO 81501

Western Slope Food Bank of the Rockies

Bid Package #3 - Foundations

2294 Tall Grass Drive

Architect's Project No. 2108

August 2, 2021

The original Drawings dated on 6/15/22, for the project noted above are amended as noted in this Addendum. This Addendum may include revised Drawings that are to be inserted in the correct sequence in the Construction Issue. All bidders are required to include the items listed in the Addendum as part of their bid. This Addendum consists of two (2) pages plus attachments.

Drawing changes are clouded.

Text deleted from the project manual by this addendum is indicated by Strikethrough (example). New text included in the Project manual is indicated in double underline typeface (example).

This addendum is issued to revise foundation drawings in response to the pre-engineered metal building updated reactions. Alternate #3 is revised so that it includes an insulated floor at the Kitchen Freezer, but not the Kitchen Cooler. The foundation wall of the dock is offset 6" to project out from the building. The concrete curbs used as wall protection around the coolers and freezers have been deleted. The stair has been deleted at the dumpster area and replaced with a platform, which will be updated on civil drawings in a future addendum for Bid Package #2.

ITEM NO. **DESCRIPTION**

DRAWINGS

ADD3-1	Sheet T001 Cover Sheet, General Notes, Wall Types: Delete sheet and replace with attached reissued sheet T001.
ADD3-2	Sheet A011 Architectural Site Plan: Delete sheet and replace with attached reissued sheet A011.
ADD3-3	Sheet A021 Main Floor Plan – West: Delete sheet and replace with attached reissued sheet A021.
ADD3-4	Sheet A022 Main Floor Plan – East: Delete sheet and replace with attached reissued sheet A022.

Chamberlin Architects, P.C. ARCHITECT:

Eric Mendell, AIA BY:

ADD3-5	Sheet S101 Overall Foundation Plan: Delete sheet and replace with attached reissued sheet S101.
ADD3-6	Sheet S102 Foundation Plan – West: Delete sheet and replace with attached reissued sheet S102.
ADD3-7	Sheet S103 Foundation Plan – East: Delete sheet and replace with attached reissued sheet S103.
ADD3-8	Sheet S200 Typical Foundation & Framing Details: Delete sheet and replace with attached reissued sheet S200.
ADD3-9	Sheet S301 Foundation Sections & Details: Delete sheet and replace with attached reissued sheet S301.

END OF ADDENDUM 3

ARCHITECT: Chamberlin Architects, P.C.

BY: Eric Mendell, AIA

WESTERN SLOPE FOOD BANK OF THE ROCKIES

GRAND JUNCTION, COLORADO

BID PACKAGE #3, FOUNDATIONS

OWNER

FOOD BANK OF THE ROCKIES 10700 East 45th Avenue Denver, CO 80239

GENERAL NOTES

 COMPLY WITH ALL MANUFACTURERS RECOMMENDATIONS AND INDUSTRY STANDARDS RELEVANT TO THE WORK HEREIN. ALL DIMENSIONS ARE FROM FACE OF FINISH ALL ALIGNMENTS ARE FACE OF FINISH UNO. FIELD VERIFY ALL DIMENSIONS AND ROUGH OPENINGS PRIOR TO FABRICATION AND/OR

DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING

THE SAME MANNER.

SHEET NUMBER

ARCHITECTURAL ABBREVIATIONS

EG etched glass/glazing

VICINITY MAP

CO-342

I-70 😇

Broadway 346

G Road

OPG opening
OPH opposite hand
OPP opposite
OSB oriented strand board
OTS open to structure

PLAM plastic laminate PLT plate

panel

pair

PTD paper towel dispen
PTN partition
PVC polyvinyl chloride
PVMT pavement

riser, radius rubber base

recycling RCMD recommend (ed) (ations)

REF refrigerator
REIN reinforce (d) (ing)
REQ required
REV revision (s), revised

roof drain

robe hook

restroom

SAG susp acoustic grid SC shower curtain rod

SD soap dispenser

shower curtain rod & hooks

RO rough opening

ROW right of way

RTU roof top unit RUB rubber

SCH schedule

RFG roofing

RM room

PWD plywood

paint (ed)

PROJ projector, projection

PNL

PSF

REC

RH

PB particle board
PEMB pre-engineered metal building
PERF perforate (d)
PERIM perimeter

pounds per square foot

pounds per square inch

paper towel dispenser

pressure treated

SHT sheet SHTG sheathing SIM similar

SPEC specification

solid surface

stainless steel

steel

SPKR speaker

SQ square

STOR storage

STR structural

SUSP suspended

TOS top of steel

TOW top of wall

VERT vertical

VIF verify in field VM vending machine

VNL vinyl sheet

VTR vent through roof

with

wood WDW window

watercloset

WB wood base

WF wide flange

WG wire glass

WP waterproof (ing)

WR waste receptacle

WD

west, wide, width

towel bar

telephone T.O. top of TOC top of concrete

tube steel

travel distance

STD

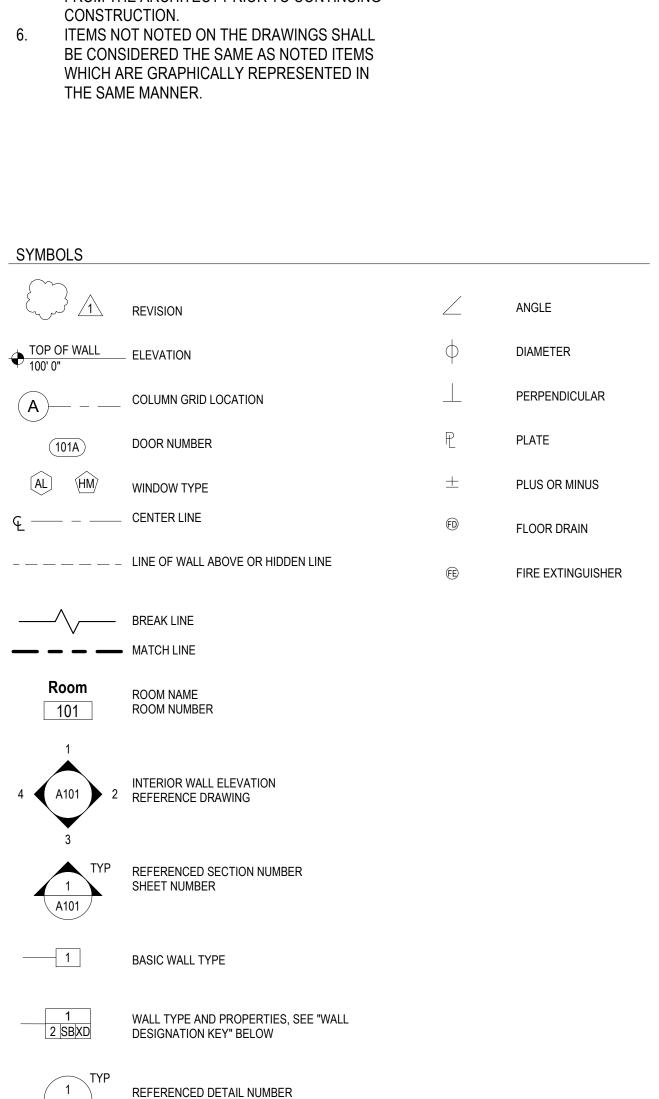
STL

- PROJECT SITE

ABV	above	EIFS	exterior insul finish sys	INCL	include (d) (ing)
ACC	accessories	EJ	expansion joint	INSUL	insulate (d) (ing)
AFF	above finished floor	EL	elevation	INT	interior
ALT	alternate	ELEC	electric (al)	INV	invert
AL	aluminum	EM	emergency		
APC	acoustical panel ceiling	EWC	electric water cooler	JST	joist
ARCH	architect (ural)	EWG	end wall corner guard	JT	joint
ASPH	asphalt	EQ	equal		
A/C	air conditioning	EXG	existing	L	length, angle
		EXH	exhaust	LAM	laminate (d)
BCS	baby changing station	EXP	exposed	LAV	lavatory
BD	board	EXT	exterior	LB	pound
BLDG	building			LF	lineal foot
BLKG	blocking	FBO	furnished by owner	LG	laminated glass, gla
ВО	bottom of	FD	floor drain	LIN	linoleum
BRG	bearing	FDN	foundation	LT	light
		FE	fire extinguisher		
CBU	cementitious backer unit	FEC	fire extinguisher cabinet	MA	match
CG	corner guard	FEP	finished end panel	MAS	masonry
CJ	control joint	FFE	finished floor elevation	MATL	material
CLG	ceiling	FIN	finish	MAX	maximum
CLR	clear (ance)	FLG	flashing	MB	marker board
CMU	concrete masonry unit	FLR	floor (ing)	MECH	mechanic (al)
COL	column	FLUR	fluorescent	MFR	manufacture (r) (d)
CONC	concrete	FO	face of	MH	manhole
CONT	continuous or continue	FRMG	framing	MIN	minimum
CORR	corridor	FRP	fiber reinforced plastic	MISC	miscellaneous
CPET	common path of egress travel	FT	foot (feet)	MLD	molding, moulding
CPT	carpet (ed)	FTG	footing	MO	masonry opening
CSMT	casement	0.4		MT	mount (ed) (ing)
CT	ceramic tile	GA	gage, gauge	MTL	metal
CTR	center	GAL	gallon		
CWOG	center wall on grid	GALV	galvanized	N N	north
551		GB	grab bar	N/A	not applicable
DBL	double	GC	general contractor	NIC	not in contract
DEMO	demolish / demolition	GL	glass, glazing	NOM	nominal
DF	drinking fountain	GWB	gypsum wallboard	NTS	not to scale
DIM	dimension (s)	GYP	gypsum	NECY	necessary
DIR	direction	1140		00	
DISP	dispenser	HAS	headed anchor stud	OC	on center (s)
DN	down	HB	hose bibb	OD	outside diameter
DR	door	HCP	handicap (ed)	OFCI	owner furnished,
DS	downspout	HDR	header	OFD	contractor installed
DTL	detail	HDW	hardware	OFD	overflow drain
DWG	drawing	HM	hollow metal	OFOI	owner furnished,
DWR	drawer	HOR	horizontal		owner installed
_		HSS	hollow structural sections	OH	overhead
E	east	HT	height	OL OLF	occupant load
EA	each	HVAC	heating /ventilation /	OLF	occupant load facto
EC	evaporative cooler	LIVA/D	air conditioning		

HWD hardwood

SND sanitary napkin disposal sanitary napkin vendor TPD toilet paper dispenser TYP typical T&G tongue and groove UNO unless noted otherwise VCT vinyl composition tile WRB weather resistive barrier WWM welded wire mesh



DRAWING LIST

ARCHITECT: CHAMBERLIN ARCHITECTS STRUCTURAL: LINDAUER DUNN, INC **GENERAL** T001 COVER SHEET, GENERAL NOTES, WALL 802 Rood Avenue Grand Junction, CO 81501 Grand Junction, CO 81501 (970) 241-0900

CIVIL: AUSTIN CIVIL GROUP **MECHANICAL** RALSTON MECHANICAL CONSULTING 123 North 7th Street, Suite 300 356 Echo Canyon Court Grand Junction, CO 81501 Grand Junction, CO 81507 (970) 242 -7540 (970) 434-9819

LANDSCAPE: NVISION DESIGN STUDIO, INC. Grand Junction, CO 81505 (970) 241-0745 (970) 201-4302

DESIGN TEAM

437 Main St.

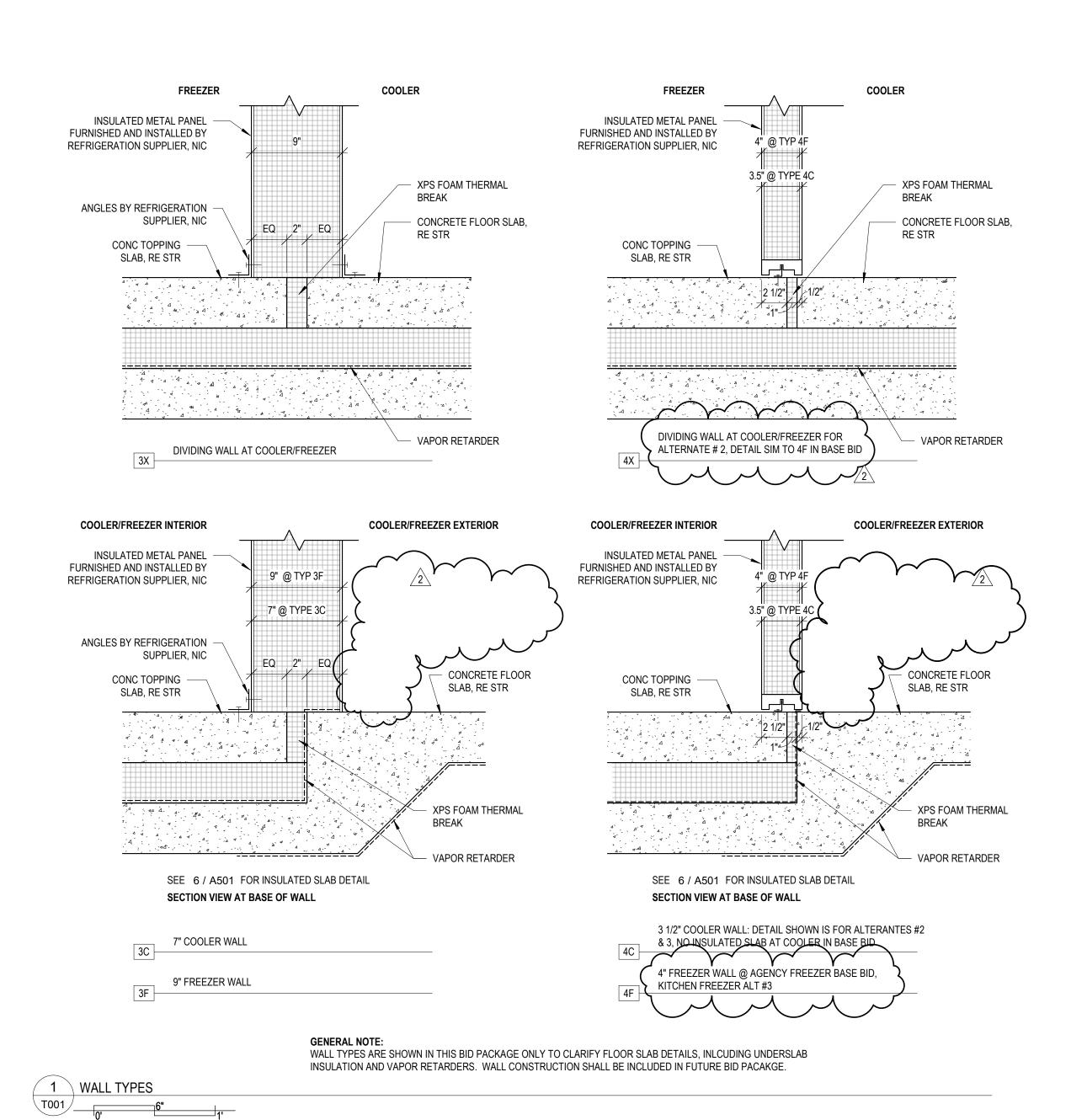
(970) 242-6804

ELECTRICAL RON SLADE, PE 745 Rood Avenue Grand Junction, CO 81501

CODE CHECKLIST & LIFE SAFETY PLAN MAIN FLOOR PLAN - WEST MAIN FLOOR PLAN - EAST STRUCTURAL

SCHEDULE OF SPECIAL INSPECTIONS **OVERALL FOUNDATION PLAN** FOUNDATION PLAN - WEST FOUNDATION PLAN - EAST TYPICAL FOUNDATION & FRAMING FOUNDATION SECTIONS & DETAILS

MAIN LEVEL UNDER GROUND PLUMBING PLAN - WEST PLUMBING DETAILS & LEGEND



FOOD BANK OF THE **ROCKIES**

698 LONG ACRE DRIVE GRAND JUNCTION, COLORADO

COVER SHEET, GENERAL NOTES, WALL TYPES

ISSUED FOR: ADDENDUM #3

BID PACKAGE #3, FOUNDATIONS

DATE: SHEET NO:



698 LONG ACRE DRIVE GRAND JUNCTION, COLORADO

ARCHITECTURAL SITE PLAN

1			
	NO:	ISSUED FOR:	DATE:
		ADDENDUM #1 ADDENDUM #3	6/23/2 8/02/2

- DRAINAGE MATERIAL

VAPOR BARRIER, ADHERE TO FOUNDATION WALL, —
CONTINUE HORZ AT BOTTOM OF GRADE BEAM AND
BACK UP SIDE OF EXCAVATION MIN 12"
FOUNDATION DRAIN DETAIL

PERIM DRAIN, WRAP W/ FILTER FABRIC, RE CIVIL

FOUNDATION, -RE STR

18" DIAMETER CONC

FILLED HOLE

SUB-GRADE

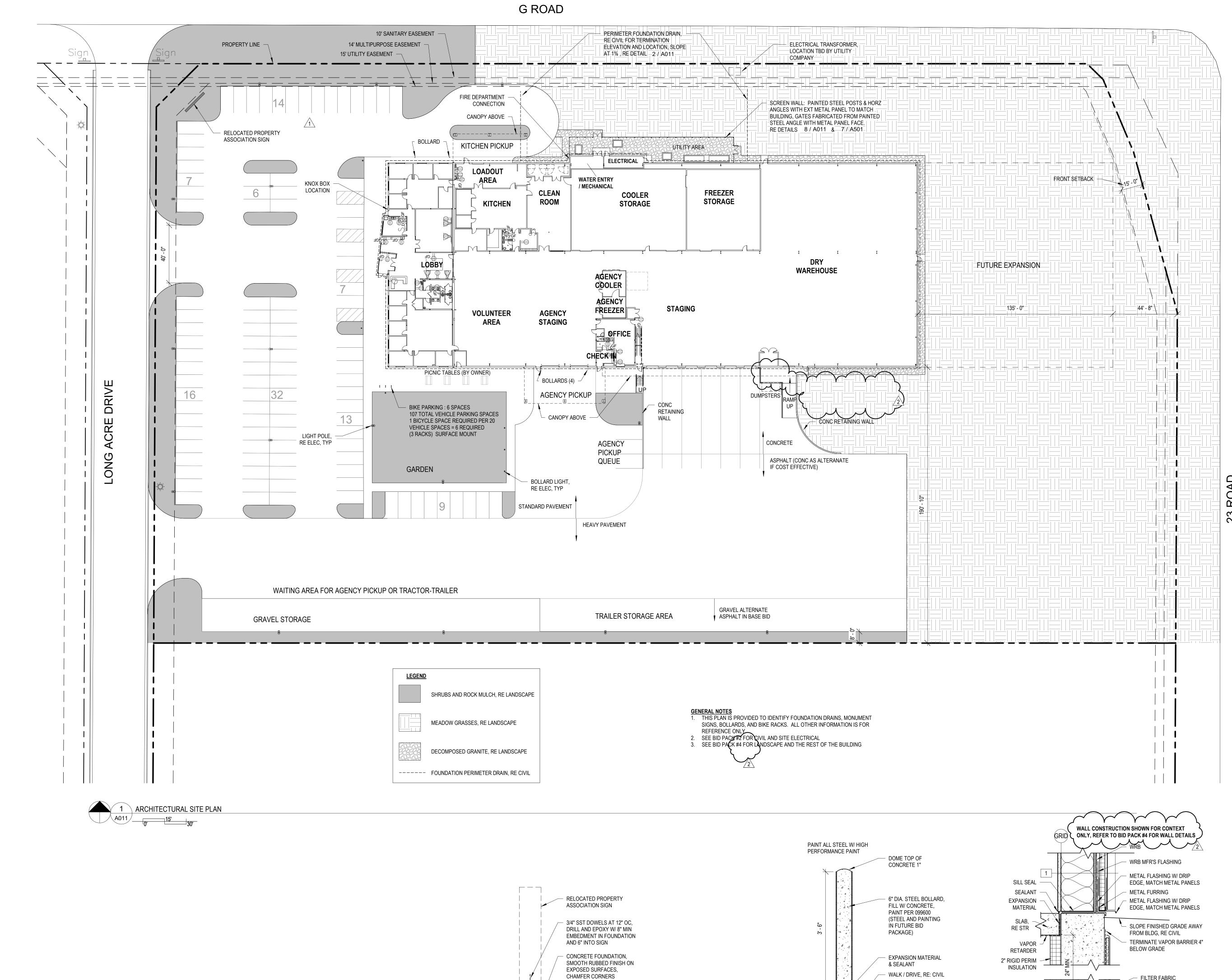
3 TYP STEEL PIPE BOLLARD DETAIL

O' 2'

BID PACKAGE #3, FOUNDATIONS

DATE: 06/15/21 SHEET NO:

A011 2108



FINISHED GRADE, RE CIVIL

— #4x 30" @ 24" OC, EA SIDE

- #4 @ 12" HORZ EA SIDE

#4 TO MATCH DOWEL

SPACING

4 FOUNDATION DETAIL FOR PROPERTY ASSOCIATION SIGN
0' 2'

 COMPACTED SUB-GRADE 8 UTILITY ENCLOSURE SECTION-BP3
A011
0' 1'

HSS COLUMNS INSERTED INTO

- CONC WALK, RE: CIVIL

- 5" x 5" x 5/16" HSS

- 18" DIAMETER CONC FILLED HOLE OR SONOTUBE

AND WELDED TO SLEEVE, RE

- SLOPE CONC AWAY FROM COLUMN, ALL SIDES

FUTURE BID PACK

GENERAL NOTES FOR UTILITY
ENCLOSURE:

1. PROVIDE COLUMNS AT ALL

CORNERS AND ENDS OF UTILTIY ENCLOSURE AND

BOTH SIDES OF GATE

COLUMNS AT 6' OC MAX.

1

OPENINGS. SPACE INTERIOR



WEST PLAN EAST PLAN

KEY PLAN

LEGEND RECESSED OR SLOPED FLOOR, SEE PLAN FOR DEPTH AND SLOPE, RE STR FOR CONC SLAB, RE PLUMBING FOR DRAINS INSULATED FLOOR SLAB, SEE PLAN FOR DEPTH DESCRIPTION OF ALTERANTES, RE STR FOR CONC SLAB

> GENERAL FLOOR PLAN NOTES:
>
> 1. THIS DRAWING IS PROVIDED FOR DESCRIPTION OF FLOOR SLAB CONSTRUCTION.
> OTHER INFORMATION IS PROVIDED FOR REFERENCE ONLY, SEE FUTURE BID REFER TO WALL TYPES ON T001 FOR BASE OF WALL DETAILS SHOWING

TRANSITIONS IN FLOOR CONSTRUCTION THAT OCCUR UNDER SOME WALLS.

FOOD BANK OF THE ROCKIES

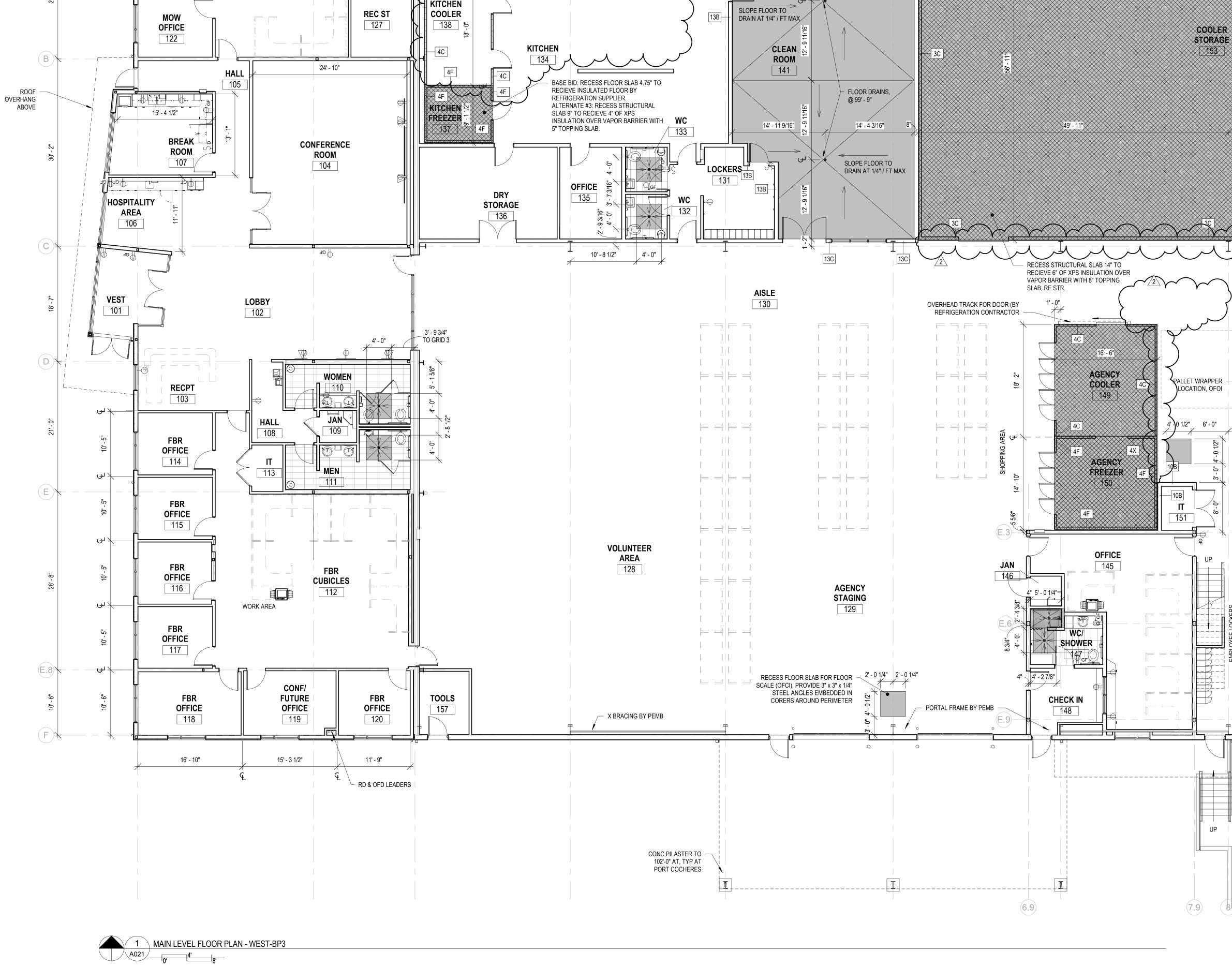
698 LONG ACRE DRIVE GRAND JUNCTION, COLORADO

MAIN FLOOR PLAN -WEST

ADDENDUM #3

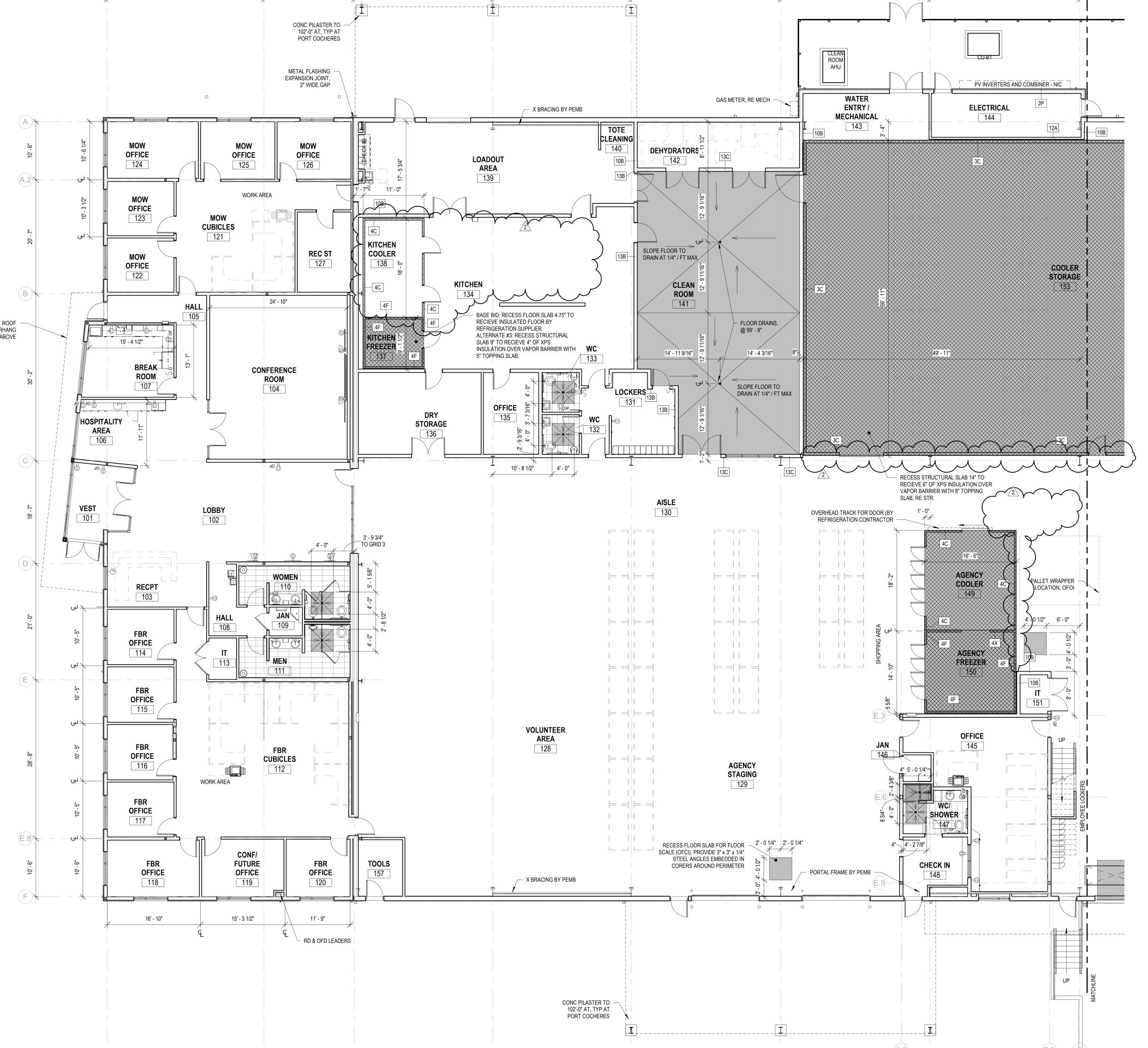
BID PACKAGE #3, FOUNDATIONS

A021



16' - 4"

25' - 0"



25' - 0"

27' - 0"

27' - 0"

27' - 0"

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698 LONG ACRE DRIVE GRAND JUNCTION, COLORADO

MAIN FLOOR PLAN -EAST

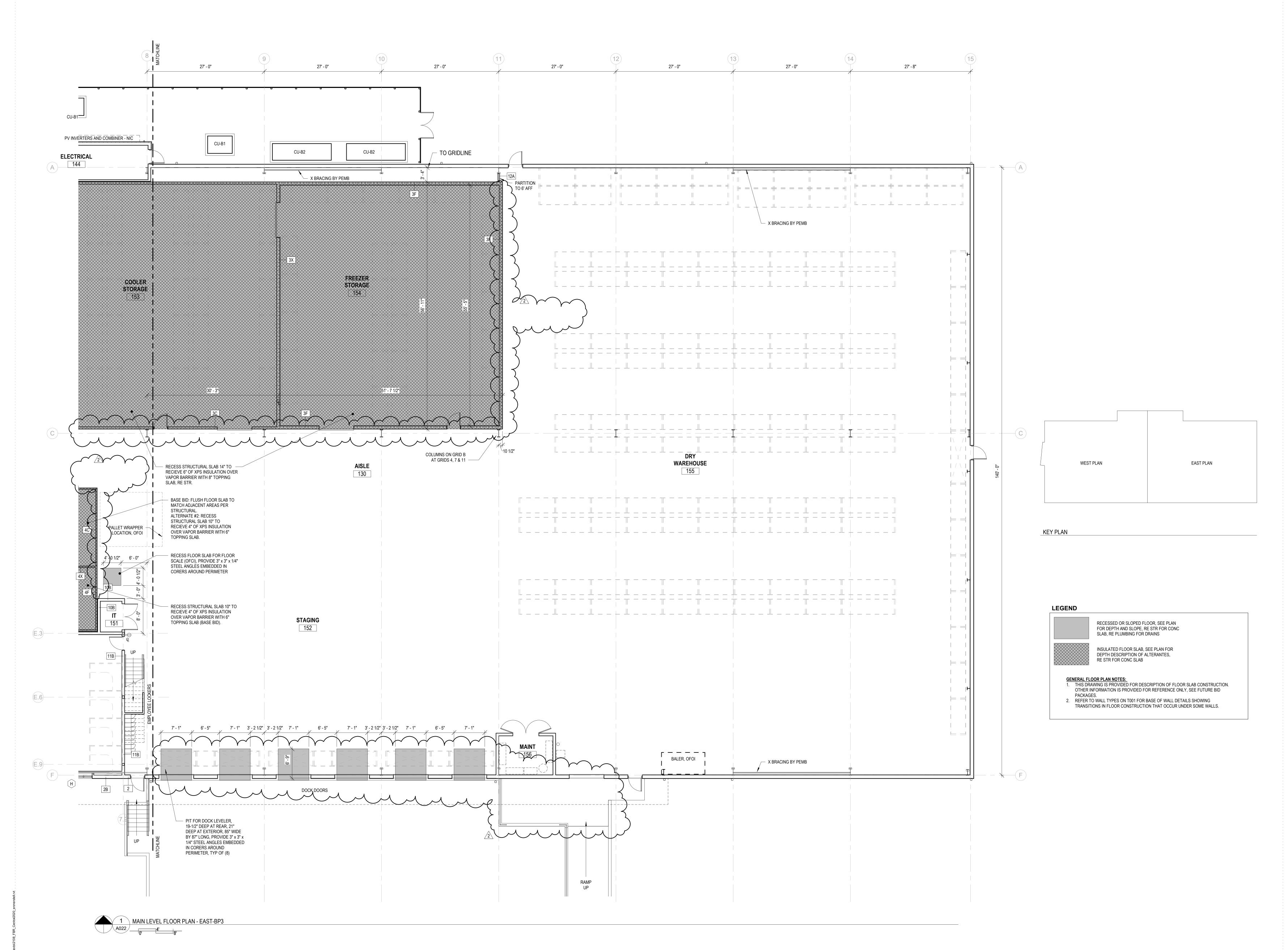
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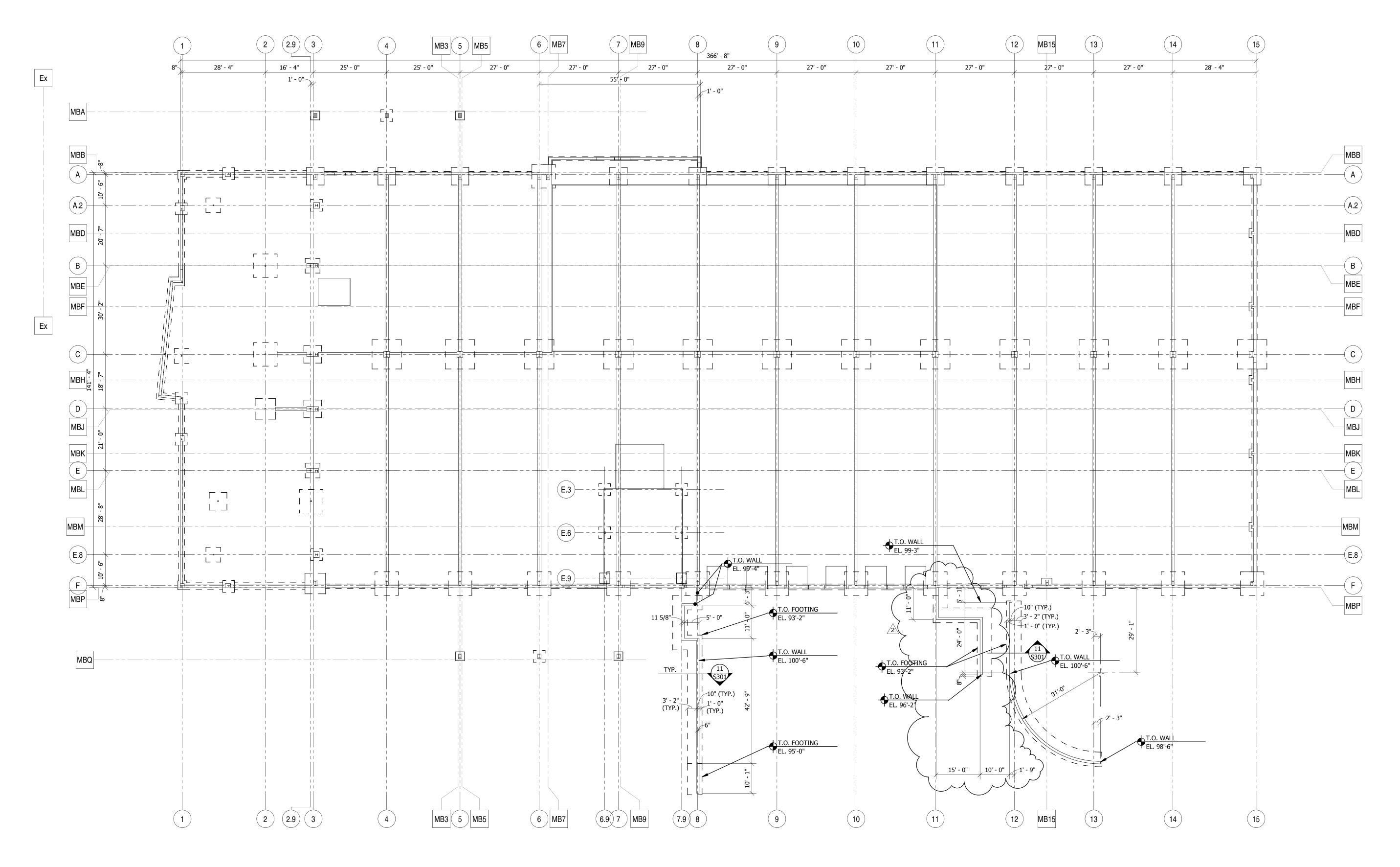
ADDENDUM #3 8/02/20:

BID PACKAGE #3, FOUNDATIONS

DATE: 06/15/21 SHEET NO:

A022





OVERALL FOUNDATION PLAN

1/16" = 1'-0" NORTH



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2295 TALL GRASS DRIVE GRAND JUNCTION, COLORADO

OVERALL FOUNDATION PLAN

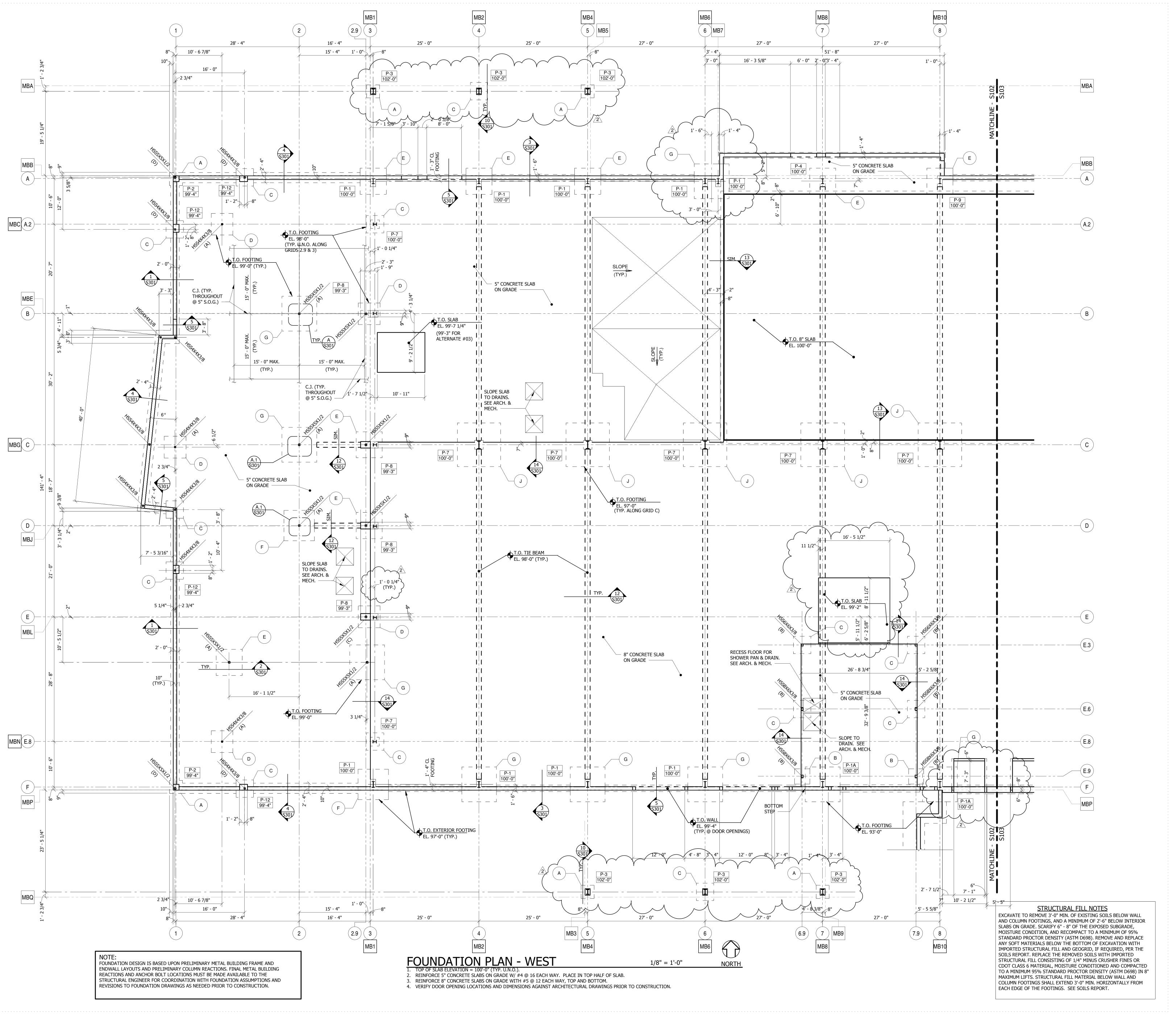
NO: ISSUED FOR: DATE:

BP 03 Addendum 03 08/02/2

PROJECT STATUS: 50% CD

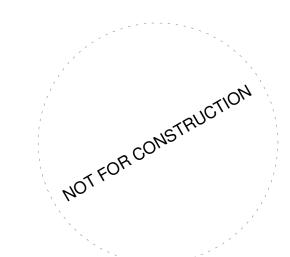
07/13/21

S101





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2295 TALL GRASS DRIVE GRAND JUNCTION, COLORADO

FOUNDATION PLAN -WEST

NO: ISSUED FOR: DATE:

BP 03 Addendum 02 06/24/21

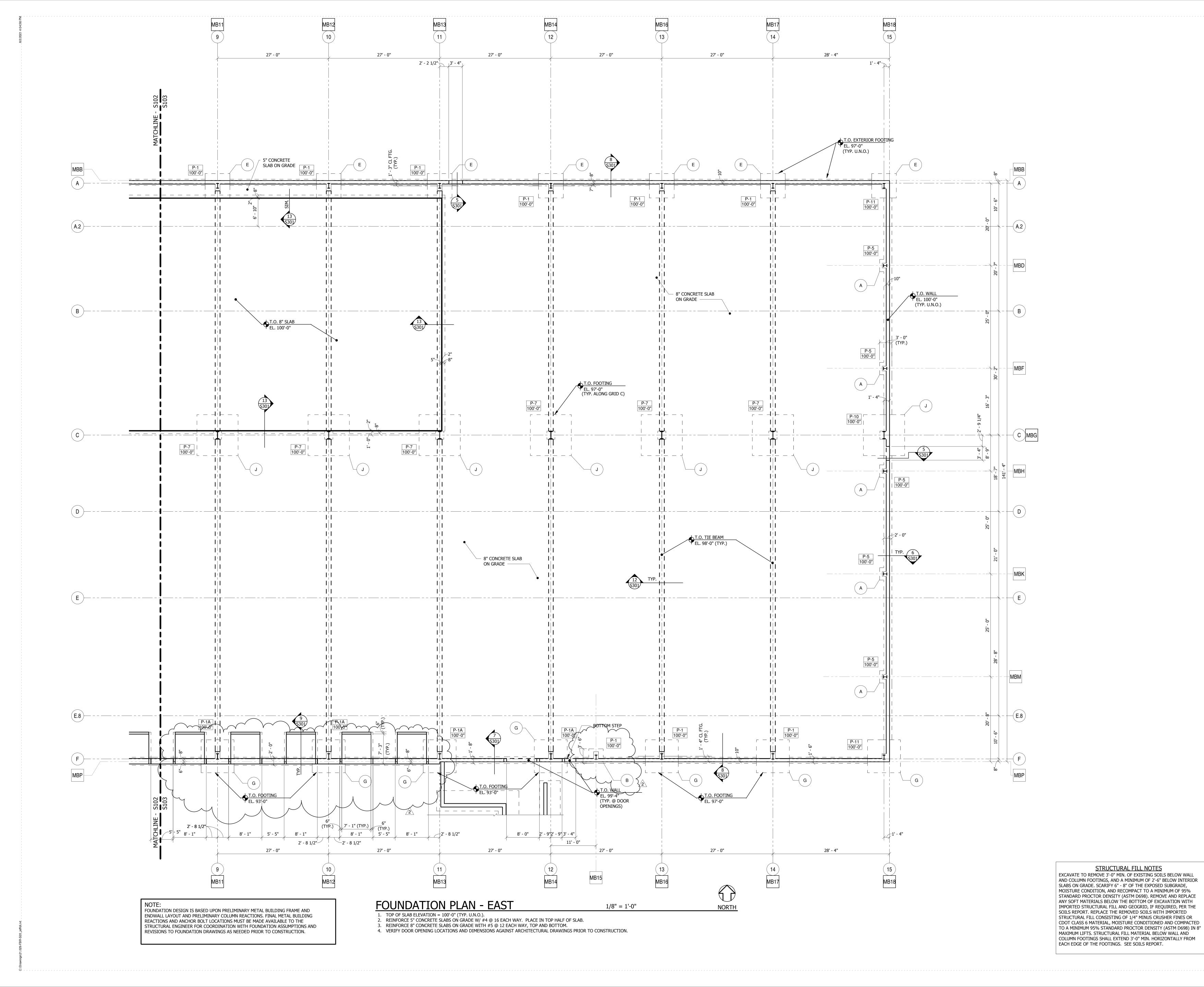
BP 03 Addendum 03 08/02/21

PROJECT STATUS: 50% CD

DATE: 07/13/21

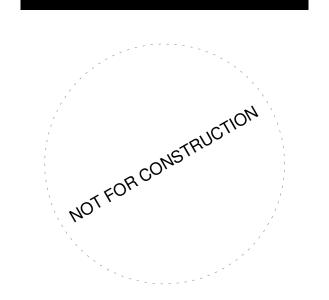
S102

SHEET NO:





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FOOD BANK OF THE ROCKIES

2295 TALL GRASS DRIVE GRAND JUNCTION, COLORAL

FOUNDATION PLAN - EAS

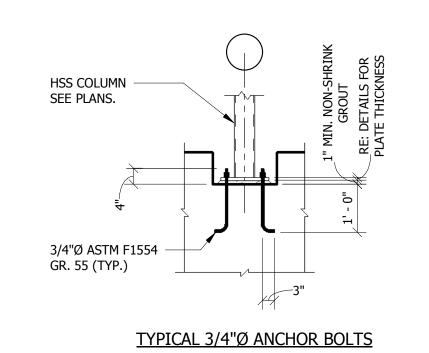
NO: ISSUED FOR: DATE:

BP 03 Addendum 03 08/02/21

PROJECT STATUS: 50% CD

DATE: **07/13/21** SHEET NO:

S103



TYPICAL ANCHOR BOLT DETAILS

(10) #6 x $\frac{\delta}{\delta}$ DOWELS 1'-0"

(2) #4 TIES @ 10" O.C. PLUS (3) PAIRS OF TIES IN THE TOP

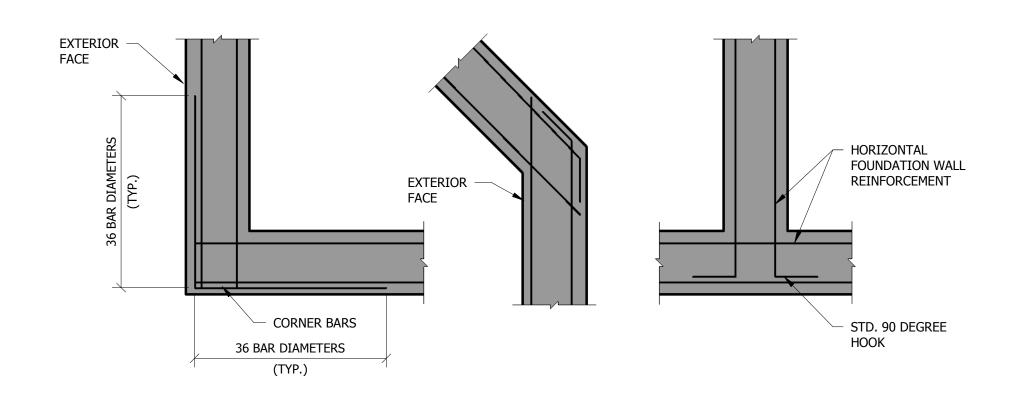
5" OF THE PILASTER.

1' - 2" 8"

T.O. WALL EL. 100'-0" (TYP.)

COLUMN CL

1/2" = 1'-0"



TYPICAL CORNER DETAILS

- NOTE: PLASTIC "QUICK JOINT" OR SAWCUT 1" DEEP AT — 4" SLAB WITHIN 8 HOURS EQUAL MAY BE USED MAX. AFTER POURING SCREED JOINT CONCRETE AND FILL WITH IN PLACE OF SAWCUT. POURED JOINT FILLER. EXTEND REINF. — THROUGH JOINT **CONTROL JOINT CONSTRUCTION JOINT**

TYPICAL SLAB JOINT DETAILS

1" = 1'-0"

MET	AL BU	ILDING COL	LUMN ANCH	IOR BOLTS		a	
DIA	METER	LENGTH (L)	HOOK (b)	PROJECTION (p)		Y///	(//>
	5/8"Ø	1'-6"	3"	3"	7		
3	3/4"Ø	1'-6"	4"	3"			
	1"Ø	2'-0"	4"	3"			
1	1/4"Ø	2'-6"	4"	3"	, i		

1. ALL ANCHOR ROD MATERIAL SHALL CONFORM TO ASTM F1554, GRADE 55. 2. RE: BUILDING MANUFACTURER'S BASE PLATE DETAILS FOR ANCHOR BOLT LOCATIONS & SPACING.

				PLYWOOD/SHEAR WALL	NAILING SCHEDU	JLE		
USE		PLYWOOD THICKNESS	SPAN/INDEX RATIO	EDGE NAILING	INTERIOR NAILING	HOLD END DOWN STUD	ANCHOR BOLT	STUD BOLT
FLOOR		3/4" T.&G.	24	8d @ 6" O.C.	8d @ 12" O.C.	/		
SLOPED ROOI	F	19/32"	32/16	10d @ 4" O.C. (BOUNDARIES) 10d @ 6" O.C. (ALL OTHER EDGES)	10d @ 12" O.C.	/		
WALL (TYP.)		15/32"	24/0	8d @ 6" O.C.	8d @ 12" O.C.	/		
SHEAR WALL:	Â	15/32"	24/0	10d @ 6" O.C.	10d @ 12" O.C.	"HD7B" (2) 2x6 STUDS	7/8"Øx - 4"	3) 3/4"Ø THRU-BOLTS

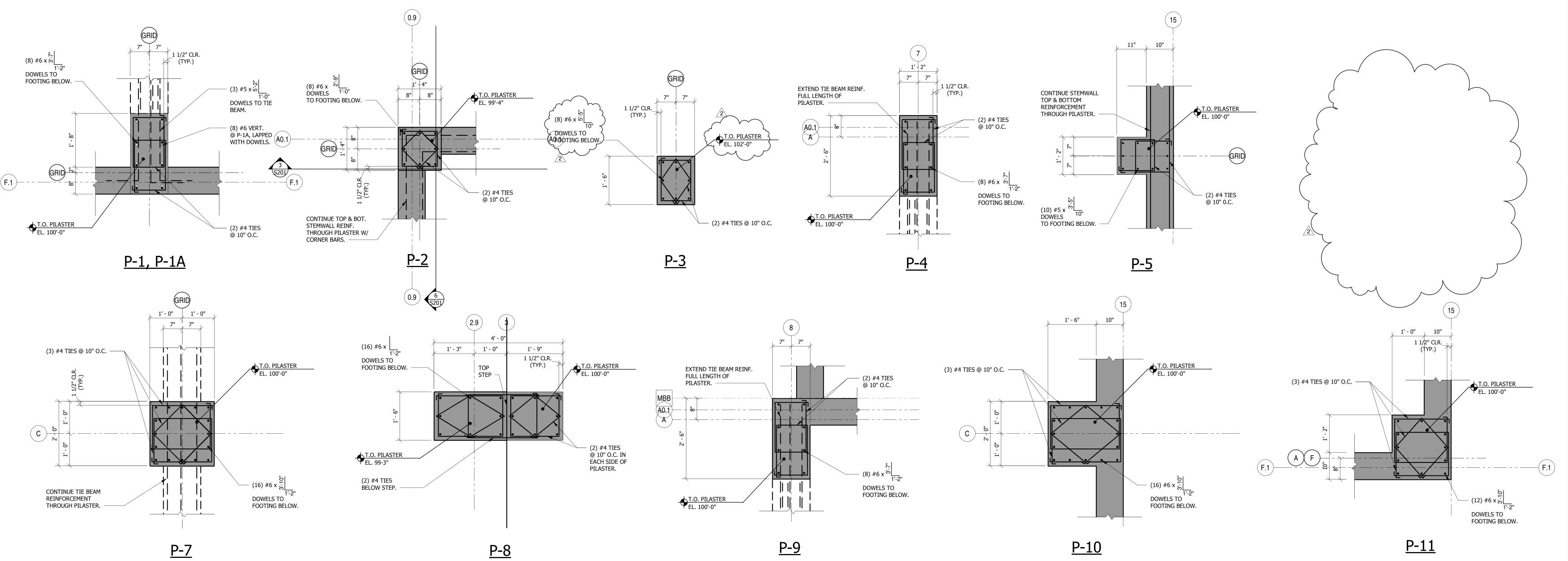
1" = 1'-0"

AND STAGGER JOINTS. ALL NAILS SHALL BE COMMON NAILS; RING SHANKED FOR ROOF AND FLOOR SHEATHING. REFER TO TABLE ABOVE FOR USE REQUIREMENTS. 2. OSB SHEATHING MAY BE USED AS AN ALTERNATE TO PLYWOOD W/ PRIOR APPROVAL OF OWNER AND CONTRACTOR. OSB SHEATHING SHALL COMPLY WITH THE APA PLYWOOD DESIGN

1. PLYWOOD FOR ROOFS, FLOORS, AND SHEAR WALL SHEATHING SHALL BE APA GRADE TRADEMARKED CDX W/ EXTERIOR GLUE. LAY UP PLYWOOD W/ FACE GRAIN PERPENDICULAR TO SUPPORTS

- PLYWOOD IT REPLACES.
- 3. ALL EDGES OF ROOF SHEATHING SHALL BE BLOCKED WITH A 2" NOMINAL WOOD FRAMING MEMBER. 4. AT ABUTTING SHEAR WALL PANEL EDGES, STUDS SHALL BE NO LESS THAN A SINGLE 3" NOMINAL MEMBER AND NAILS SHALL BE STAGGERED.
- 5. PROVIDE (3) 2" NOMINAL STUDS AND HOLDOWNS AT EACH END OF SHEAR WALL (TYP. U.N.O.). 6. HOLDOWNS LISTED ARE BY SIMPSON STRONG-TIE. ALTERNATES MUST BE EQUIVALENT AND MUST BE APPROVED BY THE STRUCTURAL ENGINEER.
- . HEADED ANCHOR BOLTS AT HOLDOWNS SHALL CONFORM TO ASTM F1554 GRADE 55. ANCHORS SHALL HAVE A MINIMUM EMBEDMENT OF 2'-0" AND SHALL HAVE A MINIMUM PROJECTION OF 6". 8. PROVIDE CONSTRUCTION ADHESIVE BETWEEN TOP OF FLOOR JOISTS AND PLYWOOD SUB-FLOOR.

MARK	SIZE	REINFORCEMENT	REMARKS
Α	3'-0 x 3'-0 x 0'-10"	(4) #5 EACH WAY BOTTOM EQUAL SPACING	
В	3'-6 x 3'-6 x 0'-10"	(4) #5 EACH WAY BOTTOM EQUAL SPACING	
С	4'-0 x 4'-0 x 1'-0"	(5) #5 EACH WAY BOTTOM EQUAL SPACING	
D	5'-0 x 5'-0 x 1'-0"	(6) #6 EACH WAY BOTTOM EQUAL SPACING	
Е	6'-0 x 6'-0 x 1'-0"	(8) #5 EACH WAY BOTTOM EQUAL SPACING	
F	7'-0 x 7'-0 x 1'-0"	(8) #5 EACH WAY BOTTOM EQUAL SPACING	
G	8'-0 x 8'-0 x 1'-2"	(10) #5 EACH WAY BOTTOM EQUAL SPACING	
J	10'-0 x 10'-0 x 1'-4"	(10) #5 EACH WAY BOTTOM EQUAL SPACING	





chamberlin

Grand Junction, CO 81501

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437 Main Street

970.242.6804

2295 TALL GRASS DRIVE

TYPICAL FOUNDATION & FRAMING DETAILS

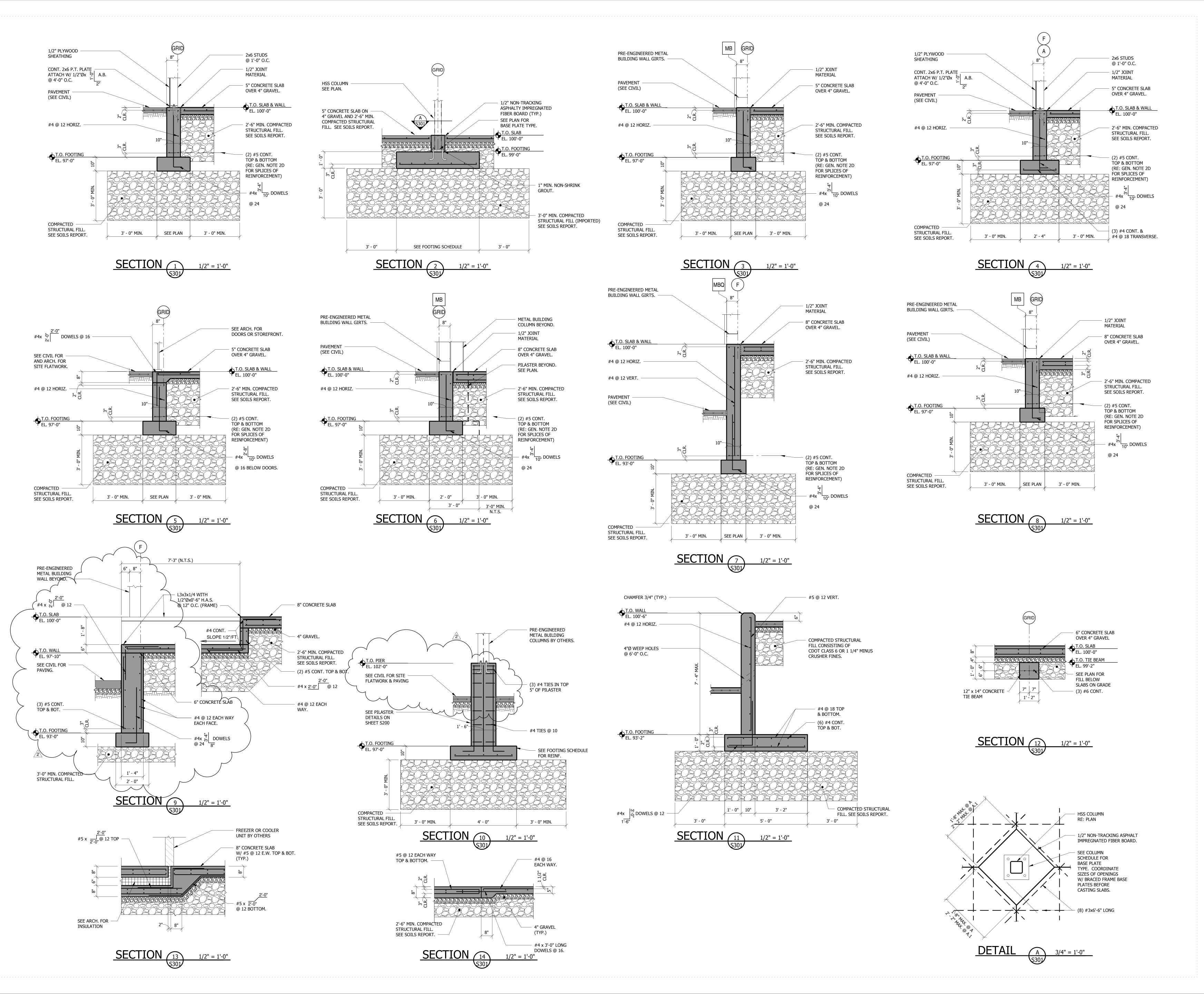
BP 03 Addendum 02 BP 03 Addendum 03

DATE: 07/13/21 SHEET NO:

PROJECT STATUS: 50% CD

S200

TYPICAL PILASTER DETAILS 3/4" = 1'-0"





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FOOD BANK OF THE ROCKIES

2295 TALL GRASS DRIVE GRAND JUNCTION, COLORADO

FOUNDATION SECTIONS

FOUNDATION SECTIONS DETAILS

DATE: O7/13/21 SHEET NO:

21.029

S301